



Notice is hereby given according to State Statutes that the VILLAGE BOARD of the Village of Hobart will meet on Tuesday July 18th 2023 at 6:00 P.M. at the Hobart Village Office. NOTICE OF POSTING: Posted this 13th day of July, 2023 at the Hobart Village Office, 2990 S. Pine Tree Rd and on the village website.

MEETING NOTICE – VILLAGE BOARD (Regular) (Amended)

Date/Time: Tuesday July 18th 2023 (6:00 P.M.)

Location: Village Office, 2990 South Pine Tree Road

ROUTINE ITEMS TO BE ACTED UPON:

1. Call to order/Roll Call.
2. Certification of the open meeting law agenda requirements and approval of the agenda
3. Pledge of Allegiance

4. PUBLIC HEARINGS

5. CONSENT AGENDA (These items may be approved on a single motion and vote due to their routine nature or previous discussion. Please indicate to the Board President if you would prefer separate discussion and action.)

A. Payment of Invoices (Page 3); B. VILLAGE BOARD: Minutes of July 5th 2023 (Regular) (Page 7); C. PLANNING AND ZONING COMMISSION: Minutes of June 14th 2023 (Page 9)

6. ITEMS REMOVED FROM CONSENT AGENDA

7. CITIZENS' COMMENTS, RESOLUTIONS AND PRESENTATIONS (NOTE: Please limit citizens' comments to no more than three minutes)

8. VILLAGE ADMINISTRATOR'S REPORT/COMMUNICATIONS

A. INFORMATION – Update on School Resource Officer (SRO) in Hillcrest Elementary School

Police Chief Renkas will update the Board on the most recent Pulaski School Board meeting, where a proposal from the Pulaski Police Department to provide SRO services to all schools in the district was approved, and a proposal from the Hobart-Lawrence Police Department, to provide SRO services to Hillcrest and Lannoye Elementary Schools, was not acted upon.

B. INFORMATION – 2023 Budget (Page 10)

The budgets for the General Fund, Capital Projects, Debt Service, Water, Sanitary Sewer, Storm Water, TID #1 and TID #2 funds are included in the meeting packet, with the budget year 50 percent completed.

9. COMMITTEE REPORTS AND ACTIONS

A. DISCUSSION AND ACTION - Consider a 2 Lot with 1 Outlot CSM creating two additional parcels consisting of 9.470 (Lot 1), 2.492 (Lot 2), and 2.689 (Outlot 1) acres (Planning and Zoning Commission) (Page 36)

The property owner is proposing a two lot with 1 outlot CSM splitting one 16.688 acre parcel in to two parcels of 9.470 (Lot 1), 2.492 (Lot 2), and 2.689 (Outlot 1) acres in the area bound by N. Overland Rd., Centerline Dr., and Founders Terrace. The existing parcel is currently zoned PDD#1: Centennial Centre at Hobart District and the proposed CSM would create two new lots and one outlot that maintain compliance with Village Code requirements by maintaining "sufficient area for green space requirements, parking and stormwater management requirements". These requirements will be reviewed and verified during the Site Review Committee process.

B. DISCUSSION AND ACTION – Consider Conditional Use Permit (CUP) on parcel HB- HB-550-3, 4758 Forest Rd. for the preliminary plan for the Planned Development Overlay District (Planning and Zoning Commission) (Page 44)

The Applicant, on behalf of their client, is requesting the review for a Conditional Use Permit (CUP) for the preliminary plan of the Planned Development Overlay District (PDD) on the property located 4758 Forest Rd. (parcel HB-550-3). The PDD is proposed to include five (5) separate lots for detached single-family dwellings and one (1) outlot for stormwater management along with a private drive from Forest Rd. to serve the development. This property received the R-1: Residential District base zoning with the R-7: Planned Development

Overlay District back in September 2022, and the applicant is now bringing forward the preliminary plans for the PDD for the proposed single-family residential development.

C. DISCUSSION AND ACTION - Preliminary Plat of Parcel HB-550-3, 4758 Forest Rd. for the Planned Development Overlay District (Planning and Zoning Commission) (Page 70)

The Applicant, on behalf of their client, is requesting the review of a preliminary plat of the Planned Development Overlay District (PDD) on the property located 4758 Forest Rd. (parcel HB-550-3). The plat is proposed to include five (5) separate lots for detached single-family dwellings and one (1) outlot for stormwater management along with a private drive from Forest Rd. to serve the development. This property received the R-1: Residential District base zoning with the R-7: Planned Development Overlay District back in September 2022, and the applicant is now bringing forward the preliminary plat for the proposed single-family residential development.

10. OLD BUSINESS

11. NEW BUSINESS

A. DISCUSSION AND ACTION – Awarding Towing Bid for Hobart-Lawrence Police Department (Page 74)

The Police Department is recommending a five-year contract with the Detail Shop (1238 Parkview Road, Green Bay) to provide the towing services to the Village.

B. DISCUSSION AND ACTION – Establishing a Public Hearing to Consider a Conditional Use Permit for increase in square footage of accessory building, HB-733-1, 1270 Plateau Heights Road

Staff would recommend the Public Hearing be held at the August 15th Board meeting.

C. DISCUSSION - Items for future agenda consideration or Committee assignment

D. ADJOURN to CLOSED SESSION:

1. Under Wisconsin State Statute 19.85 (1) (e): Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session RE: Sale of Property/TID Projects/Development Agreements
2. Under Wisconsin State Statute 19.85 (1) (g): Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved. RE: Tribal Affairs; Potential Litigation

E. CONVENE into open session

F. ACTION from closed session

12. ADJOURN

Aaron Kramer, Village Administrator

Village Board of Trustees: Richard Heidel (President), Tim Carpenter, David Dillenburg, Vanya Koepke, Tammy Zittlow

NOTE: The following agenda item - A. DISCUSSION AND ACTION – Proposed Room Tax (Bay Area Room Tax Commission) under New Business has been removed from the agenda on Monday July 18th.

UPCOMING BOARD MEETINGS

Tuesday August 1st 2023 (6:00 PM) – Regular Board Meeting at Village Office
Tuesday August 15th 2023 (6:00 PM) – Regular Board Meeting at Village Office
Tuesday September 5th 2023 (6:00 PM) – Regular Board Meeting at Village Office

NOTE: Page numbers refer to the meeting packet. All agendas and minutes of Village meetings are online: www.hobart-wi.org. Any person wishing to attend, who, because of disability requires special accommodations, should contact the Village Clerk-Treasurer's office at 920-869-1011 with as much advanced notice as possible. Notice is hereby given that action by the Board may be considered and taken on any of the items described or listed in this agenda. There may be Board members attending this meeting by telephone if necessary.

7/12/2023 12:54 PM

Reprint Check Register - Quick Report - ALL

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ALL BANK ACCOUNTS

ALL Checks

Posted From: 7/18/2023 From Account:
Thru: 7/18/2023 Thru Account:

Check Nbr	Check Date	Payee	Amount
58232	7/18/2023	ADVANCE AUTO PARTS DPW SUPPLIES	132.53
58233	7/18/2023	AMANDA WANGERIN MILEAGE REIMBURSEMENT THRU 5/12/2023	117.50
58234	7/18/2023	ASHWAUBENON AUTO REPAIR LLC MULTIPLE INVOICES	748.57
58235	7/18/2023	AURORA HEALTH CARE EVIDENCE DRAW P. MEJIA	25.00
58236	7/18/2023	BADGER LABORATORIES & ENGINEERING CO. INC. WATER TESTNG	850.00
58237	7/18/2023	BADGER METER INC. BEACON MBL HOSTING SER UNIT	83.36
58238	7/18/2023	BAY EAST ANIMAL HOSPITAL WELACTIN FOR K-9	28.49
58239	7/18/2023	BAYSIDE PRINTING LLC #10 ENVELOPES FAIR MARKET ASSESSMENTS	226.64
58240	7/18/2023	BRIAN RUECHEL JUNE ACCOUNTING	4,866.75
58241	7/18/2023	CAMERA CORNER CONNECTING POINT PHONE TICKET 1127487	190.00
58242	7/18/2023	CHARTER COMMUNICATIONS / SPECTRUM SERVICE 6/30-7/29/23	615.00
58243	7/18/2023	CIOX HEALTH PER ASHLEY @ CIOX BASE FEE ONLY RECORDS	25.09
58244	7/18/2023	COUNTRY VISIONS COOPERATIVE FIELDMASTER FUEL 496.5 GAL	1,489.50
58245	7/18/2023	CULLIGAN GREEN BAY FIRE STATION SOFTENER RENTAL FILTER	55.90
58246	7/18/2023	DECKER SUPPLY CO INC. SIGNS AND HARDWARE	2,937.56
58247	7/18/2023	DIVERSIFIED BENEFIT SERVICES INC. 105-HRA ADMIN SERVICES	99.00
58248	7/18/2023	ERC INC MONTHLY EAP SERVICES	258.33
58249	7/18/2023	FEDEX MULTIPLE INVOICES	28.80
58250	7/18/2023	GAT SUPPLY INC. BATTERIES	12.80

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ACCT

ALL BANK ACCOUNTS

ALL Checks

Posted From: 7/18/2023 From Account:
Thru: 7/18/2023 Thru Account:

Check Nbr	Check Date	Payee	Amount
58251	7/18/2023	GREEN BAY METROPOLITAN SEWERAGE DISTRICT TREATMENT CHARGES JUNE	69,179.76
58252	7/18/2023	HSHS EWD EVIDENCE DRAWS	186.00
58253	7/18/2023	IRON MOUNTAIN Shredding - all departments	70.61
58254	7/18/2023	JESSICA HOUSE REFUND OF PARK DEPOSIT 6-29-2023	150.00
58255	7/18/2023	JOE'S POWER CENTER INC SPACER - FRONT WHEEL	14.34
58256	7/18/2023	KILEEN HOES REFUND PARK DEPOSIT FOR 7-2-2023	150.00
58257	7/18/2023	KIMPS ACE HARDWARE MULTIPLE INVOICES	477.28
58258	7/18/2023	MARCO TECHNOLOGIES LLC MULTIPLE INVOICES	557.87
58259	7/18/2023	MCALLISTER LANDSCAPE SUPPLIES CENTENNIAL CENTRE FOUNTAIN	124.00
58260	7/18/2023	NSIGHT TELS SERVICES PHONE LINES ALL BUILDINGS / DEPARTMENTS	675.97
58261	7/18/2023	NWTC - GREEN BAY CAMPUS POLICE COURSE INSTRUCTION	575.00
58262	7/18/2023	OCC HEALTH CENTERS OF THE SOUTHWEST P.A. FIRE DEPARTMENT EXAMS -2	1,093.00
58263	7/18/2023	PRIMADATA 2ND QTR UTILITY BILLING	941.33
58264	7/18/2023	RANDY BANI HRA REIMBURSEMENT	3,000.00
58265	7/18/2023	ROBERT E. LEE & ASSOCIATES INC. MULTIPLE INVOICES & PROJECTS	75,520.03
58266	7/18/2023	SCHROEDER'S FLOWERS INC. SYMPATHY URN	102.00
58267	7/18/2023	SECURIAN FINANCIAL GROUP INC LIFE INSURANCE PREMIUM AUGUST	677.37
58268	7/18/2023	SHARON DIEDRICK REIMBURSEMENT TRAINING	392.69
58269	7/18/2023	STREICHER'S ID PATCH NAME TAGS	19.99

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ALL BANK ACCOUNTS

ALL Checks

Posted From: 7/18/2023 From Account:
Thru: 7/18/2023 Thru Account:

Check Nbr	Check Date	Payee	Amount
58270	7/18/2023	TECHNOLOGY ARCHITECTS INC. MULTIPILE INVOICES	6,038.79
58271	7/18/2023	TOWN OF LAWRENCE 2ND QTR HEMLOCK SUBD	10,109.90
58272	7/18/2023	UNIFORM SHOPPE MULTIPLE INVOICES	401.75
58273	7/18/2023	VILLAGE OF ASHWAUBENON WATER 2ND QTR USAGE	49,746.06
58274	7/18/2023	WES MICHAEL PARTIAL REFUND OF PARK DEPOSIT	150.00
58275	7/18/2023	WEYERS EQUIPMENT INC. SAMASZ KANGU 190-2023 FLAIL MOWER	15,000.00
58276	7/18/2023	WI DEPT OF JUSTICE - CRIME INFORMATION BUREAU BACKGROUND CHECKS	434.00
58277	7/18/2023	WPS 00001-LIFT STATION RIVERDALE	11,812.97
58278	7/18/2023	WRWA SYSTEM MEMBERSHP RENEWAL	615.00
58279	7/18/2023	ESO SOLUTIONS INC FIRE PACKAGE - CAD INTEGRATION	1,748.00
Grand Total			262,754.53

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ALL BANK ACCOUNTS

ALL Checks

Posted From: 7/18/2023 From Account:
Thru: 7/18/2023 Thru Account:

Amount

Total Expenditure from Fund # 001 - General Fund	37,001.08
Total Expenditure from Fund # 002 - Water Fund	60,189.45
Total Expenditure from Fund # 003 - Sanitary Sewer Fund	76,782.66
Total Expenditure from Fund # 004 - Capital Projects Fund	21,754.75
Total Expenditure from Fund # 006 - K-9 Fund	28.49
Total Expenditure from Fund # 007 - Storm Water Fund	2,314.97
Total Expenditure from Fund # 008 - TID #1 Fund	6,074.89
Total Expenditure from Fund # 009 - TID #2 Fund	43,158.24
Total Expenditure from Fund # 010 - Parks & Recreation	450.00
Total Expenditure from Fund # 011 - ARPA	15,000.00
Total Expenditure from all Funds	262,754.53



MEETING MINUTES – VILLAGE BOARD (Regular)

Date/Time: Wednesday July 5th 2023 (6:00 P.M.)

Location: Village Office, 2990 South Pine Tree Road

ROUTINE ITEMS TO BE ACTED UPON

1. Call to order/Roll Call - The meeting was called to order by Rich Heidel at 6:00 pm. Rich Heidel, David Dillenburg, Vanya Koepke, and Tammy Zittlow were present. Tim Carpenter was excused.
2. Certification of the open meeting law agenda requirements and approval of the agenda – ACTION: To certify the open meeting law agenda requirements and approval of the agenda. MOTION: Heidel SECOND: Zittlow. VOTE: 4-0
3. Pledge of Allegiance - Those present recited the Pledge of Allegiance.

4. PUBLIC HEARINGS - None

5. CONSENT AGENDA - A. Payment of Invoices; B. VILLAGE BOARD: Minutes of June 20th 2023 (Regular) and June 29th 2023 (Special); C: POLICE COMMISSION: Minutes of April 12th 2023 (Page 9) MOTION: Dillenburg SECOND: Koepke VOTE: 5-0

6. ITEMS REMOVED FROM CONSENT AGENDA – None

7. CITIZENS' COMMENTS, RESOLUTIONS AND PRESENTATIONS (NOTE: Please limit citizens' comments to no more than three minutes) - None

8. VILLAGE ADMINISTRATOR'S REPORT/COMMUNICATIONS

Administrator Kramer informed the Board that two Safe Space parking spots had been created in the Village parking lot, the Fire Station project remains on schedule, and the street lights installed in Centennial Center are now active.

A. INFORMATION – Brown County Highway Capital Improvement Plan (2024-2029) – No action taken.

9. COMMITTEE REPORTS

A. INFORMATION - Request for a 224-unit, 16 building leased multi-family residence development with detached office building along S. Pine Tree Road (Portion of HB-350) (Site Review Committee) - Lexington Homes, Inc. is proposing a new townhome style, 224-unit leased multi-family residential development consisting of sixteen (16) 14-unit two-story buildings, all with attached garages. Additionally, there will be a detached office building at the entrance to the development which will have access from S. Pine Tree Rd. No action taken.

B. INFORMATION - Request for an approximately 135-unit, 6 building leased mini-storage warehousing development to the rear of the property located at 3849 W. Mason Street (Site Review Committee) - Nearby Storage is proposing a new mini-storage warehouse facility of approximately 135 individual leased units consisting of 6 separate buildings to be located towards the rear portion of the property located at 3849 W. Mason St. The existing commercial building along the front of the property will remain and both the existing and proposed developments will utilize the existing driveway from W. Mason St. to access both developments. This property received the Conditional Use Permit back in February 2023 to allow for the proposed additional uses. No action taken.

10. OLD BUSINESS

11. NEW BUSINESS

A. DISCUSSION AND ACTION – Master Services Agreement with Ascent Consulting – Police Captain Brent Olson explained the program to the Board. Ascent Consulting will provide individual consultations for each Police Department staff member. These

consultations include general mental health assessment, resiliency assessment (e.g., work/life balance, social support, lifestyle factors) and review of job-related stressors to provide a framework of consistent support. The cost for the service is \$2,850.00. This cost will be reimbursed through the Law Enforcement Agency Grant. ACTION: To approve the Master Services Agreement with Ascent Consulting, with concurrent approval from the Town of Lawrence MOTION: Heidel SECOND: Zittlow VOTE: 4-0

B. DISCUSSION - Items for future agenda consideration or Committee assignment – None

ACTION: To go into a 10-minute recess prior to closed session (6:21 PM) MOTION: Heidel SECOND: Zittlow VOTE: 4-0

H. ADJOURN to CLOSED SESSION (6:31 PM): ACTION: To go into closed session 1) Under Wisconsin State Statute 19.85 (1) (e): Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session RE: Sale of Property/TID Projects/Development Agreements, and 2) Under Wisconsin State Statute 19.85 (1) (g): Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved. RE: Tribal Affairs; Potential Litigation MOTION: Heidel SECOND: Koepke VOTE: 4-0

I. CONVENE into open session (8:00 PM) – MOTION: Heidel SECOND: Koepke VOTE: 4-0

J. ACTION from closed session – ACTION: To retain the law firm of Von Briesen & Roper, s.c., to provide legal services to the Village in its defense involving a tax claim filed in Circuit Court by a Village property owner MOTION: Heidel SECOND: Zittlow VOTE: 4-0

12. ADJOURN (8:04 PM) – MOTION: Dillenburg SECOND: Heidel VOTE: 4-0

Submitted by Aaron Kramer, Village Administrator



Village of Hobart Planning & Zoning Committee Minutes
Hobart Village Office; 2990 S. Pine Tree Rd, Hobart, WI
Wednesday, June 14, 2023 – 5:30 pm

1. Call to Order, Roll Call:

The meeting was called to order by Dave Dillenburg at 5:35pm. Roll call: Rich Heidel, excused; Dave Dillenburg, aye; Tom Dennee, excused; Bob Ross, aye; David Johnson, aye; Jeff Ambrosius, aye; John Rather, aye.

2. Verify/Modify/Approve Agenda:

Motion by Dave Dillenburg, seconded by Bob Ross, to approve the agenda as presented. All in favor. Motion carried.

3. Approval of Planning & Zoning Minutes:

Motion by Bob Ross, seconded by Jeff Ambrosius, to approve the May 10, 2023 minutes as presented. All in favor. Motion carried.

4. Public Comment on Non-Agenda Items:

None.

5. DISCUSSION AND ACTION - CUP for Parcel HB-550-3, 4758 Forest Rd. for the preliminary plan for the Planned Development Overlay District:

Director of Planning & Code Compliance, Todd Gerbers, presented the CUP.

The commission members discussed the application.

*Motion by Dave Dillenburg, seconded by Bob Ross, to postpone action on this item until the developer provides the required information. All in favor. Motion carried.

6. DISCUSSION AND ACTION – Consider Preliminary Plat of Parcel HB-550-3, 4758 Forest Rd. for the Planned Development Overlay District:

No discussion on this item due to no action taken on Agenda Item #5. Motion by Bob Ross, seconded by David Johnson to postpone action on this item until the PDD documents are submitted for review. All in favor. Motion carried.

7. ADJOURN:

Motion by Jeff Ambrosius, seconded by Dave Dillenburg, to adjourn at 6:26pm. All in favor. Motion carried.

7/07/2023

2:52 PM

Budget Comparison - Detail

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Fund: 001 - General Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
001-00-41110-000-000	Gen Prop Tax Real Estate Coll	1,998,173.26	2,070,872.22	2,070,873.00	-0.78	100.00
001-00-41150-000-000	Managed Forest Crop	75.37	75.37	75.37	0.00	100.00
001-00-41700-000-000	Ag Use Penalty	9,201.48	0.00	500.00	-500.00	0.00
001-00-41800-000-000	Interest on Taxes	2,499.52	930.07	2,000.00	-1,069.93	46.50
001-00-41901-000-000	Payment in Lieu of Taxes - Wtr	62,674.00	31,336.98	68,772.96	-37,435.98	45.57
TAXES		2,072,623.63	2,103,214.64	2,142,221.33	-39,006.69	98.18
001-00-42001-000-000	Pass Through Payments	0.00	0.00	0.00	0.00	0.00
Special Assessments		0.00	0.00	0.00	0.00	0.00
001-00-43210-000-000	Police Department Grant	17,645.93	16,260.57	0.00	16,260.57	0.00
001-00-43211-000-000	Fire Department Grant	0.00	0.00	0.00	0.00	0.00
001-00-43400-000-000	State Shared Revenue	63,058.63	0.00	63,058.59	-63,058.59	0.00
001-00-43410-000-000	PERS. PROP STATE AID	10,854.58	10,854.58	10,854.48	0.10	100.00
001-00-43420-000-000	2% Fire Dues	47,913.92	0.00	47,000.00	-47,000.00	0.00
001-00-43430-000-000	Exempt Computer Aid	1,730.37	0.00	1,730.37	-1,730.37	0.00
001-00-43440-000-000	Video Service Provider Aid	19,153.48	0.00	19,153.48	-19,153.48	0.00
001-00-43530-000-000	State LRIP Grant	0.00	0.00	0.00	0.00	0.00
001-00-43531-000-000	State Transportation Aids	404,138.60	232,379.68	464,759.39	-232,379.71	50.00
001-00-43536-000-000	State Disaster Funds	0.00	62,865.06	62,865.06	0.00	100.00
001-00-43545-000-000	DNR Recycling Grant - Received	18,602.79	18,582.64	18,602.79	-20.15	99.89
INTERGOVERNMENTAL REVENUES		583,098.30	340,942.53	688,024.16	-347,081.63	49.55
001-00-44000-000-000	Licenses & Permits	5,370.87	681.66	5,000.00	-4,318.34	13.63
001-00-44110-000-000	Liquor Licenses	13,235.00	1,910.00	3,000.00	-1,090.00	63.67
001-00-44111-000-000	Liquor License Legal Ad	25.00	725.00	25.00	700.00	2,900.00
001-00-44120-000-000	Cigarette Licenses	200.00	200.00	100.00	100.00	200.00
001-00-44121-000-000	Franchise Fees / Cable Televis	39,724.29	20,489.09	37,000.00	-16,510.91	55.38
001-00-44130-000-000	Operators & Background Checks	1,309.85	342.00	1,250.00	-908.00	27.36
001-00-44200-000-000	Dog License & County Refund	4,345.85	4,470.00	4,000.00	470.00	111.75
001-00-44300-000-000	Building Permits & Insp Fees	82,332.75	54,249.00	70,000.00	-15,751.00	77.50
001-00-44301-000-000	State Seals Collected	1,944.80	-110.86	1,000.00	-1,110.86	-11.09
001-00-44302-000-000	Administrative Fee for Permits	7,550.00	4,200.00	4,000.00	200.00	105.00
001-00-44304-000-000	Erosion Control Fee	4,326.00	2,451.00	2,500.00	-49.00	98.04
001-00-44305-000-000	Security Deposit - Bldg Permit	3,000.00	-1,000.00	2,500.00	-3,500.00	-40.00
001-00-44400-000-000	Zone - Cond Use - Variance Fee	1,600.00	1,125.00	1,000.00	125.00	112.50
001-00-44402-000-000	CSM & Plat Fees	2,375.00	1,250.00	1,000.00	250.00	125.00
001-00-44900-000-000	Site Review Permit & Fees	600.00	600.00	500.00	100.00	120.00
001-00-44940-000-000	Reimbursements paid to Village	11,615.87	898.32	0.00	898.32	0.00
001-00-44950-000-000	Quarry & Other Permits & Fees	6,985.00	3,770.00	5,000.00	-1,230.00	75.40
001-00-44960-000-000	GIS Permits	0.00	0.00	0.00	0.00	0.00
Licenses & Permits		186,540.28	96,250.21	137,875.00	-41,624.79	69.81
001-00-45100-000-000	Dog license Late Fees	530.00	190.00	200.00	-10.00	95.00
FINES, FORFEITS AND PENALTIES		530.00	190.00	200.00	-10.00	95.00
001-00-46100-000-000	Gen Govt Charge for Service	9,031.01	21,019.03	4,000.00	17,019.03	525.48
001-00-46210-000-000	Hobart portion Court Fees	74,976.13	34,718.23	80,000.00	-45,281.77	43.40
001-00-46211-000-000	Reimbursement from Lawrence	581,404.66	279,591.42	638,924.00	-359,332.58	43.76
001-00-46212-000-000	W DeP & Pul Sch Liason Pmnts	81,178.98	27,059.66	89,329.22	-62,269.56	30.29

7/07/2023

2:52 PM

Budget Comparison - Detail

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Fund: 001 - General Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
001-00-46213-000-000	Hobart Portion Parking Tickets	0.00	2,453.34	2,750.00	-296.66	89.21
001-00-46220-000-000	Fire Calls on Roads	0.00	0.00	0.00	0.00	0.00
001-00-46420-000-000	Garb/Recyc Special Chg - Admin	419,209.52	431,299.52	431,299.52	0.00	100.00
001-00-46744-000-000	Tower & Land Rental Fees	0.29	0.00	0.00	0.00	0.00
PUBLIC CHARGES FOR SERVICES		1,165,800.59	796,141.20	1,246,302.74	-450,161.54	63.88
001-00-47001-000-000	Late Charges on Invoices	0.00	0.00	0.00	0.00	0.00
INTERGOV'T. CHARGES FOR SERV.		0.00	0.00	0.00	0.00	0.00
001-00-48110-000-000	Interest on Accounts	41,492.57	121,276.55	80,000.00	41,276.55	151.60
MISCELLANEOUS REVENUES		41,492.57	121,276.55	80,000.00	41,276.55	151.60
001-00-49002-000-000	Transfer from Water Fund	0.00	0.00	0.00	0.00	0.00
001-00-49003-000-000	Transfer from Sewer Fund	40,000.00	40,000.00	40,000.00	0.00	100.00
001-00-49007-000-000	Transfer from Storm Water Fund	0.00	0.00	0.00	0.00	0.00
001-00-49008-000-000	Transfer from TID#1	0.00	0.00	0.00	0.00	0.00
001-00-49009-000-000	Transfer from TID#2	0.00	0.00	0.00	0.00	0.00
001-00-49020-000-000	Street Lighting	63,614.71	70,461.00	70,461.00	0.00	100.00
001-00-49027-000-000	Lighting Admin Fee	3,348.14	3,708.47	3,708.47	0.00	100.00
Transfer from San Sewer		106,962.85	114,169.47	114,169.47	0.00	100.00
Total Revenues		4,157,048.22	3,572,184.60	4,408,792.70	-836,608.10	81.02

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Fund: 001 - General Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
001-00-51100-001-000	Village Board Salary / Wage	44,505.50	22,500.12	45,000.00	22,499.88	50.00
001-00-51100-004-000	Village Board Fica / Med	3,470.30	1,720.98	3,443.00	1,722.02	49.98
001-00-51100-006-000	Village Board Supplies	658.39	0.00	600.00	600.00	0.00
001-00-51100-011-000	Village board Ed / Conf / Trav	6,193.39	0.00	2,000.00	2,000.00	0.00
001-00-51200-001-001	Judge Salary / Wage	8,415.75	4,200.00	8,400.00	4,200.00	50.00
001-00-51200-001-002	Court Clerk Salary / Wage	35,504.85	15,403.83	33,450.00	18,046.17	46.05
001-00-51200-003-002	Municipal Court - Clerk WRS	752.19	1,092.19	2,274.60	1,182.41	48.02
001-00-51200-004-001	Municipal Ct - Judge Fica/Med	643.81	321.30	642.60	321.30	50.00
001-00-51200-004-002	Municipal Ct - Clerk Fica/Med	2,661.10	1,228.70	2,558.93	1,330.23	48.02
001-00-51200-005-002	Municipal Court - Fringe Bene	3,898.75	21.57	0.00	-21.57	0.00
001-00-51200-006-000	Municipal Court - Supplies	3,515.04	7,580.29	12,000.00	4,419.71	63.17
001-00-51200-007-000	Municipal Court - Tech	345.75	1,104.35	500.00	-604.35	220.87
001-00-51200-011-000	Municipal Court - Ed/Conf/Trav	1,695.70	1,316.10	2,600.00	1,283.90	50.62
001-00-51200-018-000	Municipal Ct - Detention Fees	266.85	160.00	500.00	340.00	32.00
001-00-51200-059-000	Municipal Court Atty	24,383.89	17,503.95	27,500.00	9,996.05	63.65
001-00-51300-059-000	General Legal Expenses	76,237.04	38,151.63	120,000.00	81,848.37	31.79
001-00-51410-001-000	Administrator Salary / Wage	39,474.49	23,727.09	42,766.50	19,039.41	55.48
001-00-51410-003-000	Administrator - WRS	2,616.46	1,620.49	2,908.12	1,287.63	55.72
001-00-51410-004-000	Administrator - Fica / Med	2,880.01	1,709.01	3,766.19	2,057.18	45.38
001-00-51410-005-000	Administrator Fringe Bene	7,683.14	5,289.13	9,714.57	4,425.44	54.45
001-00-51410-006-000	Administrator - Supplies	500.00	144.94	750.00	605.06	19.33
001-00-51410-011-000	Administrator - Ed/Conf/Trav	372.31	253.76	750.00	496.24	33.83
001-00-51415-006-000	Econ. Dev - Marketing Supply	3,197.51	4,975.00	7,500.00	2,525.00	66.33
001-00-51415-082-000	Economic Dev - Plan & Engineer	21,949.75	0.00	17,500.00	17,500.00	0.00
001-00-51415-104-000	Subscription/Events/Programs	16,821.75	0.00	0.00	0.00	0.00
001-00-51420-001-000	Clerk-Treasur Off - Sal / Wage	82,016.16	43,726.50	86,059.50	42,333.00	50.81
001-00-51420-003-000	Clerk-Treasurer - WRS	5,341.52	2,853.41	4,852.23	1,998.82	58.81
001-00-51420-004-000	Clerk-Treasurer - FICA / MED	7,320.16	3,597.21	6,583.55	2,986.34	54.64
001-00-51420-005-000	Clerk-Treasure Fringe Benefits	23,861.85	4,687.52	8,709.65	4,022.13	53.82
001-00-51420-006-000	Clerk-Treasurer Supplies	0.00	5,797.41	8,000.00	2,202.59	72.47
001-00-51420-008-000	Clerk-Treasurer - Legal Ads	1,732.61	1,126.40	1,750.00	623.60	64.37
001-00-51420-011-000	Clerk-Treasur Ed / Conf / Trav	1,642.83	1,292.71	1,500.00	207.29	86.18
001-00-51420-014-000	Clerk-Treasur Outside Services	0.00	5,835.47	14,000.00	8,164.53	41.68
001-00-51420-037-000	Gen Office Unemployment	0.00	0.00	0.00	0.00	0.00
001-00-51422-006-000	Gen Office Supply	17,737.38	5,519.17	17,500.00	11,980.83	31.54
001-00-51422-007-000	All Phones	16,997.40	3,637.20	18,000.00	14,362.80	20.21
001-00-51422-041-000	Info / Tech Internet Charges	8,477.98	3,711.17	9,000.00	5,288.83	41.24
001-00-51422-042-000	Info / Tech - Computer Support	14,875.20	12,549.41	20,000.00	7,450.59	62.75
001-00-51423-049-000	GIS Maintenance	26,948.50	0.00	0.00	0.00	0.00
001-00-51425-014-000	Tribal Affairs Outside Service	13,000.00	6,000.00	12,000.00	6,000.00	50.00
001-00-51440-001-000	Elections Pollworkers Wage	7,887.22	4,123.62	5,000.00	876.38	82.47
001-00-51440-006-000	Elections - Supplies	13,427.96	7,555.56	10,000.00	2,444.44	75.56
001-00-51510-009-000	Audit	-3,365.37	10,158.35	10,000.00	-158.35	101.58
001-00-51520-006-000	Treasurer - Supplies	10,037.96	0.00	0.00	0.00	0.00
001-00-51520-014-000	Treasurer - Outside Services	17,571.46	0.00	0.00	0.00	0.00
001-00-51530-014-000	Assessor - Outside Services	38,420.77	22,268.34	39,000.00	16,731.66	57.10
001-00-51600-001-000	Building / Plant - Wage	8,120.44	1,199.41	3,800.00	2,600.59	31.56
001-00-51600-003-000	Building / Plant WRS	238.85	0.00	0.00	0.00	0.00
001-00-51600-004-000	Building / Plant - FICA / MED	312.17	32.86	290.00	257.14	11.33
001-00-51600-005-000	Building / Plant - Fringe Bene	0.00	0.00	0.00	0.00	0.00
001-00-51600-006-000	Building / Plant - Supplies	2,210.35	1,198.52	3,000.00	1,801.48	39.95
001-00-51600-015-000	Building / Plant - New Equip	0.00	0.00	0.00	0.00	0.00

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Fund: 001 - General Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
001-00-51600-039-000	Building / Plant - Maintenance	5,530.28	5,140.12	7,500.00	2,359.88	68.53
001-00-51600-040-000	Building / Plant - Utilities	26,730.64	18,625.78	35,000.00	16,374.22	53.22
001-00-51910-096-000	Tax Adjustments	-1,376.28	759.55	1,000.00	240.45	75.96
001-00-51930-026-000	Insurance - Work Comp	2,282.79	3,827.81	3,827.81	0.00	100.00
001-00-51930-030-000	Insurance - Liability	8,505.09	9,000.00	9,000.00	0.00	100.00
001-00-51930-031-000	Insurance - Property	0.00	2,944.00	2,944.00	0.00	100.00
001-00-51930-032-000	Insurance - Auto	412.09	474.00	474.00	0.00	100.00
001-00-51930-033-000	Insurance - Health Reimburse	12,298.06	3,174.37	13,005.00	9,830.63	24.41
001-00-51930-049-000	Insurance - Life	838.39	471.37	900.00	428.63	52.37
GENERAL GOVERNMENT		678,678.18	341,311.67	699,820.25	358,508.58	48.77
001-00-52100-001-000	Police - Salary / Wage	1,061,547.77	529,753.96	1,172,690.03	642,936.07	45.17
001-00-52100-001-001	Police - Overtime	32,003.89	2,845.21	35,000.00	32,154.79	8.13
001-00-52100-001-002	PT -Salary / Wage	0.00	10,857.60	8,000.00	-2,857.60	135.72
001-00-52100-003-000	Police - WRS	114,961.05	77,191.11	152,524.83	75,333.72	50.61
001-00-52100-004-000	Police - FICA / MED	79,699.26	45,542.16	93,000.00	47,457.84	48.97
001-00-52100-005-000	Police - Fringe Bene	227,655.65	120,150.52	218,061.53	97,911.01	55.10
001-00-52100-006-000	Police - Supplies	9,103.70	5,969.75	12,000.00	6,030.25	49.75
001-00-52100-007-000	Police - Phone & Tech Support	44,050.00	38,006.92	60,000.00	21,993.08	63.34
001-00-52100-008-000	Police - Blood Draws	2,920.47	777.20	2,000.00	1,222.80	38.86
001-00-52100-011-000	Police - Ed / Conf / Travel	4,368.30	1,163.92	8,000.00	6,836.08	14.55
001-00-52100-015-000	Police - New Equipment	2,135.00	706.18	2,000.00	1,293.82	35.31
001-00-52100-016-000	Police - Fuel	52,453.35	20,821.12	47,000.00	26,178.88	44.30
001-00-52100-019-000	Police - WDC	18,040.42	0.00	0.00	0.00	0.00
001-00-52100-021-000	Police - Vehicle Maint	18,567.02	5,726.80	30,000.00	24,273.20	19.09
001-00-52100-026-000	Police - Workers Comp	40,329.29	46,327.82	46,327.82	0.00	100.00
001-00-52100-028-000	Police - Uniform Expense	8,864.14	3,491.19	9,000.00	5,508.81	38.79
001-00-52100-030-000	Police - Liability Ins	3,949.15	6,137.00	6,137.00	0.00	100.00
001-00-52100-031-000	Police - Property Ins	0.00	600.00	600.00	0.00	100.00
001-00-52100-032-000	Police - Auto Insurance	2,023.66	2,500.00	2,500.00	0.00	100.00
001-00-52100-033-000	Police - Health Reimbursement	15,004.19	10,488.77	26,595.00	16,106.23	39.44
001-00-52100-066-000	Police - Ammunition / Weapons	5,058.33	-3,279.50	4,500.00	7,779.50	-72.88
001-00-52100-076-000	Police - Crime Prevention	972.83	645.19	1,000.00	354.81	64.52
001-00-52200-001-000	Fire - Salary / Wage	102,833.05	17,443.20	87,000.00	69,556.80	20.05
001-00-52200-004-000	Fire - FICA / MED	5,823.89	2,587.18	6,100.00	3,512.82	42.41
001-00-52200-005-000	Fire - Fringe Bene	0.00	0.00	0.00	0.00	0.00
001-00-52200-006-000	Fire - Supplies	5,026.31	1,233.64	7,000.00	5,766.36	17.62
001-00-52200-007-000	Fire - Phone & Tech Support	0.00	935.87	750.00	-185.87	124.78
001-00-52200-011-000	Fire - Ed / Conf / Travel	3,125.33	4,509.50	3,000.00	-1,509.50	150.32
001-00-52200-013-000	Fire - Lunch	5,155.99	0.00	5,000.00	5,000.00	0.00
001-00-52200-015-000	Fire - New Equipment	11,234.03	4,798.21	10,000.00	5,201.79	47.98
001-00-52200-016-000	Fire - Fuel	7,078.09	2,833.39	10,000.00	7,166.61	28.33
001-00-52200-020-000	Fire - Physicals	3,442.00	3,078.00	3,500.00	422.00	87.94
001-00-52200-021-000	Fire - Vehicle Maint	13,216.53	2,717.83	17,500.00	14,782.17	15.53
001-00-52200-026-000	Fire - Workers Comp	6,848.37	6,848.37	6,848.37	0.00	100.00
001-00-52200-028-000	Fire - Uniform Expense	3,263.95	2,122.54	4,000.00	1,877.46	53.06
001-00-52200-030-000	Fire - Liability Ins	2,815.92	3,000.00	3,000.00	0.00	100.00
001-00-52200-031-000	Fire - Property Ins	0.00	1,500.00	1,500.00	0.00	100.00
001-00-52200-032-000	Fire - Automobile Ins	7,554.90	8,000.00	8,000.00	0.00	100.00
001-00-52200-038-000	Fire - Hydrant Rental	223,034.00	111,517.02	223,034.00	111,516.98	50.00
001-00-52200-039-000	Fire - Station Maintenance	5,584.19	5,002.93	7,000.00	1,997.07	71.47
001-00-52200-050-000	Fire - Equipment Repair	3,935.80	3,631.73	8,000.00	4,368.27	45.40

Fund: 001 - General Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
001-00-52200-067-000	Fire - 2% Fire Expenses	46,317.02	51,153.03	47,000.00	-4,153.03	108.84
001-00-52300-023-000	Ambulance	126,671.27	136,400.00	136,400.00	0.00	100.00
001-00-52310-001-000	First Responders - Salary/Wage	0.00	0.00	0.00	0.00	0.00
001-00-52400-001-000	Plan & Code - Salary / Wage	69,917.66	36,333.74	74,705.38	38,371.64	48.64
001-00-52400-003-000	Plan & Code - WRS	4,633.80	2,540.07	5,079.97	2,539.90	50.00
001-00-52400-004-000	Plan & Code - FICA / MED	5,060.64	2,642.38	5,714.97	3,072.59	46.24
001-00-52400-005-000	Plan & Code - Fringe Bene	17,437.12	12,175.02	24,336.41	12,161.39	50.03
001-00-52400-006-000	Plan & Code - Supplies	1,728.53	368.40	1,500.00	1,131.60	24.56
001-00-52400-011-000	Plan & Code - Ed / Conf / Tra	775.00	720.00	1,000.00	280.00	72.00
001-00-52400-014-000	Plan & Code Outside Services	0.00	5,435.00	5,435.00	0.00	100.00
001-00-52400-016-000	Plan & Code - Fuel	736.05	274.52	1,500.00	1,225.48	18.30
001-00-52400-021-000	Plan & Code - Vehicle Maint	733.48	0.00	200.00	200.00	0.00
PUBLIC SAFETY		2,427,690.39	1,356,224.49	2,651,040.31	1,294,815.82	51.16
001-00-53100-001-001	DPW - Overtime	12,160.48	12,623.38	16,000.00	3,376.62	78.90
001-00-53100-001-003	DPW - Admin Salary Wage	7,648.47	11,672.83	23,345.68	11,672.85	50.00
001-00-53100-001-004	DPW - Labor Salary / Wage	118,696.17	51,589.67	105,399.04	53,809.37	48.95
001-00-53100-001-009	DPW - PT-Seasonal	16,386.71	10,365.25	30,000.00	19,634.75	34.55
001-00-53100-003-003	DPW - Admin WRS	2,468.91	793.66	1,587.51	793.85	49.99
001-00-53100-003-004	DPW - Labor WRS	10,183.09	4,538.96	9,500.00	4,961.04	47.78
001-00-53100-003-005	DPW - Recy Coord WRS	0.00	0.00	0.00	0.00	0.00
001-00-53100-004-003	DPW - Admin Fica / Med	2,789.54	856.25	1,785.94	929.69	47.94
001-00-53100-004-004	DPW - Labor Fica / Med	14,236.46	5,831.83	9,000.00	3,168.17	64.80
001-00-53100-004-005	DPW - Recy Coord FICA/Med	0.00	0.00	0.00	0.00	0.00
001-00-53100-005-003	DPW - Admin Fringe Bene	9,975.61	3,237.83	6,716.05	3,478.22	48.21
001-00-53100-005-004	DPW - Labor Fringe Bene	30,459.96	8,733.00	15,531.91	6,798.91	56.23
001-00-53100-005-005	DPW - Recy Coord Fringe Benefi	0.00	0.00	0.00	0.00	0.00
001-00-53100-006-000	DPW - Supplies	11,458.30	5,604.56	9,000.00	3,395.44	62.27
001-00-53100-007-000	DPW - Phone & Tech Support	0.00	372.01	1,000.00	627.99	37.20
001-00-53100-011-000	DPW - ED / Conf / Travel	671.65	261.73	800.00	538.27	32.72
001-00-53100-015-000	DPW - New Equipment	3,222.53	885.87	2,500.00	1,614.13	35.43
001-00-53100-016-000	DPW - Fuel	14,312.41	4,363.93	20,000.00	15,636.07	21.82
001-00-53100-021-000	DPW - Vehicle Maint.	16,814.33	6,839.34	12,000.00	5,160.66	56.99
001-00-53100-026-000	DPW - Worker's Comp	9,892.09	10,000.00	10,000.00	0.00	100.00
001-00-53100-030-000	DPW - Liability Ins	858.51	900.00	900.00	0.00	100.00
001-00-53100-031-000	DPW - Property Ins	0.00	1,955.00	1,955.00	0.00	100.00
001-00-53100-032-000	DPW - Automobile Ins	3,228.02	3,500.00	3,500.00	0.00	100.00
001-00-53100-050-000	DPW - Equipment Repair	10,418.15	3,383.34	8,000.00	4,616.66	42.29
001-00-53100-060-000	DPW - Snow Removal	41.93	0.00	400.00	400.00	0.00
001-00-53100-084-000	DPW - Stone	5,838.79	3,944.17	7,500.00	3,555.83	52.59
001-00-53100-086-000	DPW - Signage Repair / Replace	5,758.40	17,968.71	15,000.00	-2,968.71	119.79
001-00-53100-088-000	DPW - Repair/ Preventive Maint	15,532.77	-3,764.43	50,000.00	53,764.43	-7.53
001-00-53100-090-000	DPW - Salt / Sand	46,048.05	38,666.15	47,000.00	8,333.85	82.27
001-00-53100-091-000	DPW-ROW Maint/Yard Waste/Maint	14,484.00	3,390.76	20,000.00	16,609.24	16.95
001-00-53100-093-000	DPW - Equip/ Lab/Bridge Match	0.00	0.00	0.00	0.00	0.00
001-00-53100-094-000	DPW - Street Lights	92,855.98	45,146.23	90,000.00	44,853.77	50.16
001-00-53100-095-000	DPW - Garbage & Recycg Collect	302,978.39	146,273.48	285,000.00	138,726.52	51.32
001-00-53100-103-000	DPW - Landfill Tipping Fees	53,190.82	50,255.24	50,000.00	-255.24	100.51
001-00-53100-104-000	DPW - Recycling/ Events/Pgms	700.00	0.00	1,000.00	1,000.00	0.00
PUBLIC WORKS		833,310.52	450,188.75	854,421.13	404,232.38	52.69

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Fund: 001 - General Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
001-00-54110-071-000	Humane Off - Animal Control	2,090.00	1,080.00	1,750.00	670.00	61.71
CONSTABLE SERVICES		2,090.00	1,080.00	1,750.00	670.00	61.71
001-00-55200-039-000	Park & Rec -Site Maintenance	2,181.75	0.00	0.00	0.00	0.00
PARK & RECREATION		2,181.75	0.00	0.00	0.00	0.00
001-00-56300-001-000	Planning & Zoning - Meetings	1,275.00	-25.00	1,000.00	1,025.00	-2.50
001-00-56402-001-000	Site Review Meetings - Meeting	425.00	0.00	500.00	500.00	0.00
PLANNING & DEVELOPMENT		1,700.00	-25.00	1,500.00	1,525.00	-1.67
001-00-59004-000-000	Transfer to Capital Projects	0.00	0.00	0.00	0.00	0.00
001-00-59005-000-000	Transfer to Debt Service Fund	0.00	0.00	0.00	0.00	0.00
001-00-59999-000-000	GEN FUND CONTINGENCY	51,657.48	8,030.58	200,261.01	192,230.43	4.01
OTHER FINANCING USES		51,657.48	8,030.58	200,261.01	192,230.43	4.01
Total Expenses		3,997,308.32	2,156,810.49	4,408,792.70	2,251,982.21	48.92
Net Totals		159,739.90	1,415,374.11	0.00	-1,415,374.11	

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Fund: 004 - Capital Projects Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
004-00-41110-000-000	General Prop Tax R/E Collected	523,658.73	597,908.00	597,908.00	0.00	100.00
TAXES		523,658.73	597,908.00	597,908.00	0.00	100.00
004-00-42300-000-000	Special Assessment Revenue	351,000.00	0.00	0.00	0.00	0.00
Special Assessments		351,000.00	0.00	0.00	0.00	0.00
004-00-43550-000-000	Brown County Bridge Match	0.00	0.00	0.00	0.00	0.00
INTERGOVERNMENTAL REVENUES		0.00	0.00	0.00	0.00	0.00
004-00-44940-000-000	Reimbursements paid to Village	52,504.87	41,454.09	36,000.00	5,454.09	115.15
Licenses & Permits		52,504.87	41,454.09	36,000.00	5,454.09	115.15
004-00-48110-000-000	Interest on Accounts	0.00	41,769.14	0.00	41,769.14	0.00
004-00-48300-000-000	Land Sales	0.00	0.00	0.00	0.00	0.00
MISCELLANEOUS REVENUES		0.00	41,769.14	0.00	41,769.14	0.00
004-00-49001-000-000	Transfer From General Fund	0.00	0.00	0.00	0.00	0.00
004-00-49002-000-000	Transfer from Water Fund	0.00	0.00	0.00	0.00	0.00
004-00-49003-000-000	Transfer from Sewer Fund	0.00	0.00	0.00	0.00	0.00
004-00-49004-000-000	Transfer from Capital Fund	0.00	0.00	100,000.00	-100,000.00	0.00
004-00-49005-000-000	Transfer from Debt Service	0.00	0.00	0.00	0.00	0.00
004-00-49007-000-000	Transfer from Storm Water Fund	0.00	0.00	113,783.00	-113,783.00	0.00
004-00-49008-000-000	Transfer from TID#1	0.00	0.00	0.00	0.00	0.00
004-00-49009-000-000	Transfer from TID#2	0.00	0.00	0.00	0.00	0.00
004-00-49010-000-000	Transfer from FD Equip Reserve	0.00	0.00	0.00	0.00	0.00
004-00-49011-000-000	Transfer from ARPA	0.00	0.00	79,083.00	-79,083.00	0.00
004-00-49120-000-000	Bond Proceeds	0.00	4,900,000.00	0.00	4,900,000.00	0.00
004-00-49130-000-000	Bond Premium	0.00	54,292.00	0.00	54,292.00	0.00
Transfer from San Sewer		0.00	4,954,292.00	292,866.00	4,661,426.00	1,691.66
Total Revenues		927,163.60	5,635,423.23	926,774.00	4,708,649.23	608.07

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Fund: 004 - Capital Projects Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
004-00-51420-015-000	General Office - New Equipment	0.00	0.00	28,583.00	28,583.00	0.00
004-00-51420-055-000	Clerk - Tech & Equip Reserve	14,560.51	7,881.60	10,000.00	2,118.40	78.82
004-00-51530-014-000	ASSESSOR - Revaluation	0.00	0.00	0.00	0.00	0.00
004-00-51530-055-000	Property Revaluation Reserve	0.00	0.00	0.00	0.00	0.00
GENERAL GOVERNMENT		14,560.51	7,881.60	38,583.00	30,701.40	20.43
004-00-52100-015-000	Police - New Equipment	37,500.00	12,074.52	38,100.00	26,025.48	31.69
004-00-52100-017-000	Police - New Vehicles	0.00	32,786.84	35,100.00	2,313.16	93.41
004-00-52200-015-000	Fire - New Equipment	5,360.41	0.00	35,000.00	35,000.00	0.00
004-00-52200-047-011	Fire Capital Outlay Station 1	0.00	1,027,810.60	0.00	-1,027,810.60	0.00
004-00-52200-055-000	Fire - Equipment Reserve	0.00	0.00	0.00	0.00	0.00
PUBLIC SAFETY		42,860.41	1,072,671.96	108,200.00	-964,471.96	991.38
004-00-53100-015-000	DPW - New Equipment	0.00	0.00	290,000.00	290,000.00	0.00
004-00-53100-047-000	DPW - Capital Outlay	0.00	0.00	10,713.00	10,713.00	0.00
004-00-53100-047-184	2018 Pave Imp II 2320-18-04	0.00	0.00	0.00	0.00	0.00
004-00-53100-047-191	2019 Paving 2320-19-01	0.00	0.00	0.00	0.00	0.00
004-00-53100-047-204	2020 ST & DRAIN 2320-20-04	0.00	0.00	0.00	0.00	0.00
004-00-53100-047-206	SOUTHWIND 2320-20-06	0.00	0.00	0.00	0.00	0.00
004-00-53100-047-207	MARTINSON/BLACKBER 2320-20-07	0.00	0.00	0.00	0.00	0.00
004-00-53100-047-211	2021 STREET & DRAIN	833.75	0.00	0.00	0.00	0.00
004-00-53100-047-222	2022 ST & DRAIN 2320-22-02	98,886.09	-30,373.60	0.00	30,373.60	0.00
004-00-53100-047-224	Salt Shed 2320-22-04	283,915.69	0.00	0.00	0.00	0.00
004-00-53100-047-231	'23 Streets 2320-23-01	0.00	0.00	0.00	0.00	0.00
004-00-53100-055-000	DPW - Equipment Reserve	0.00	0.00	0.00	0.00	0.00
004-00-53100-077-000	DPW - Paving	0.00	0.00	479,278.00	479,278.00	0.00
004-00-53100-077-171	DPW PAVING 17-01	0.00	0.00	0.00	0.00	0.00
004-00-53100-077-181	Paving Elevated water tower	0.00	0.00	0.00	0.00	0.00
004-00-53100-077-182	Pave - 2018 St & Drain Cont	0.00	0.00	0.00	0.00	0.00
004-00-53100-077-183	Public Spaces Park CC	0.00	0.00	0.00	0.00	0.00
004-00-53100-077-191	DPW 2320-19-01 pave projects	0.00	0.00	0.00	0.00	0.00
004-00-53100-078-000	DPW Road Const Engineering	0.00	0.00	0.00	0.00	0.00
004-00-53100-078-181	Engineer -Elevated Water Tower	0.00	0.00	0.00	0.00	0.00
004-00-53100-078-182	Engineer - 2018 St & Drain Con	0.00	0.00	0.00	0.00	0.00
004-00-53100-078-184	2018 PAVE IMP PHASE II	0.00	0.00	0.00	0.00	0.00
004-00-53100-078-191	2019 PAVING PROJECT 2320-19-01	0.00	0.00	0.00	0.00	0.00
004-00-53100-078-192	2019 DRAINAGE IMP 2320-19-02	0.00	0.00	0.00	0.00	0.00
004-00-53100-078-204	2020 ST & DRAIN 2320-20-04	0.00	0.00	0.00	0.00	0.00
004-00-53100-078-206	SOUTHWIND 2320-20-06	0.00	0.00	0.00	0.00	0.00
004-00-53100-078-207	MARTINSON/BLACKBER 2320-20-07	186.00	0.00	0.00	0.00	0.00
004-00-53100-078-211	Eng 2021 St & Drain	16,335.92	717.25	0.00	-717.25	0.00
004-00-53100-078-222	2022 ST & DRAIN 2320-22-02	0.00	207.00	0.00	-207.00	0.00
004-00-53100-078-224	Salt Shed 2320-22-04	16,927.06	13,654.54	0.00	-13,654.54	0.00
004-00-53100-078-231	'23 Streets 2320-23-01	3,951.04	13,744.20	0.00	-13,744.20	0.00
004-00-53100-079-000	Village Building Improvements	0.00	0.00	0.00	0.00	0.00
004-00-53100-101-000	Village Building Reserve	0.00	0.00	0.00	0.00	0.00
004-00-53101-000-000	Land Acquisition Costs	0.00	0.00	0.00	0.00	0.00
PUBLIC WORKS		421,035.55	-2,050.61	779,991.00	782,041.61	-0.26
004-00-55200-015-000	Park & Rec - New Equip	0.00	0.00	0.00	0.00	0.00
004-00-55200-029-000	Park & Rec - Urban Forest	57.32	0.00	0.00	0.00	0.00

Fund: 004 - Capital Projects Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
PARK & RECREATION						
		57.32	0.00	0.00	0.00	0.00
004-00-58243-099-000	2020 GO Issuance Costs	0.00	0.00	0.00	0.00	0.00
004-00-58248-099-000	2023B GOFBSB Issuance Costs	0.00	123,307.00	0.00	-123,307.00	0.00
DEBT SERVICE						
		0.00	123,307.00	0.00	-123,307.00	0.00
004-00-59003-000-000	Transfer to Sani Sewer	0.00	0.00	0.00	0.00	0.00
004-00-59994-000-000	Capital Fund Contingency	0.00	0.00	0.00	0.00	0.00
OTHER FINANCING USES						
		0.00	0.00	0.00	0.00	0.00
004-00-60000-105-000	Water - Conveyance Facilities	0.00	0.00	0.00	0.00	0.00
Water						
		0.00	0.00	0.00	0.00	0.00
004-00-62000-105-000	SANITARY SEWER - Convey Facili	0.00	0.00	0.00	0.00	0.00
SANITARY SEWER						
		0.00	0.00	0.00	0.00	0.00
004-00-64000-015-000	Storm Water - Equipment	0.00	0.00	0.00	0.00	0.00
004-00-64000-105-000	Storm Water - Convey Facilitie	0.00	0.00	0.00	0.00	0.00
Storm Water						
		0.00	0.00	0.00	0.00	0.00
Total Expenses		478,513.79	1,201,809.95	926,774.00	-275,035.95	129.68
Net Totals		448,649.81	4,433,613.28	0.00	-4,433,613.28	

Fund: 005 - Debt Service Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
005-00-41110-000-000	General Prop Tax R/E Collected	614,014.44	619,370.00	619,370.00	0.00	100.00
TAXES		614,014.44	619,370.00	619,370.00	0.00	100.00
005-00-43533-000-000	Stadium Tax Refund	107.22	0.00	0.00	0.00	0.00
INTERGOVERNMENTAL REVENUES		107.22	0.00	0.00	0.00	0.00
005-00-48110-000-000	Interest on Accounts	0.00	2,027.14	0.00	2,027.14	0.00
MISCELLANEOUS REVENUES		0.00	2,027.14	0.00	2,027.14	0.00
005-00-49001-000-000	Transfer from General Fund	0.00	0.00	0.00	0.00	0.00
005-00-49005-000-000	Transfer from Debt Service	0.00	0.00	0.00	0.00	0.00
005-00-49120-000-000	Bond Proceeds	0.00	0.00	0.00	0.00	0.00
005-00-49130-000-000	Bond Premium	0.00	167,008.35	0.00	167,008.35	0.00
005-00-49140-000-000	Note Proceeds	0.00	0.00	0.00	0.00	0.00
005-00-49150-000-000	Note Premium	0.00	0.00	0.00	0.00	0.00
Transfer from San Sewer		0.00	167,008.35	0.00	167,008.35	0.00
Total Revenues		614,121.66	788,405.49	619,370.00	169,035.49	127.29

Fund: 005 - Debt Service Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
005-00-58111-010-000	DEBT PAYMENT - 420000 DPW BLDG	0.00	0.00	0.00	0.00	0.00
005-00-58111-012-000	DEBT PAYMENT - 420000 DPW BLDG	0.00	0.00	0.00	0.00	0.00
005-00-58219-010-000	DEBT SERVICE - 1300000	0.00	0.00	0.00	0.00	0.00
005-00-58219-012-000	DEBT SERVICE - 1300000	0.00	0.00	0.00	0.00	0.00
005-00-58227-010-000	DEBT SERVICE - 6450000 TX GORB	445,000.00	460,000.00	460,000.00	0.00	100.00
005-00-58227-012-000	DEBT SERVICE - 6450000 TX GORB	137,795.00	65,560.00	124,220.00	58,660.00	52.78
005-00-58227-099-000	DEBT SERVICE - Issuance Costs	0.00	0.00	0.00	0.00	0.00
005-00-58238-010-000	DEBT SERVICE - FIRE ENGINE	0.00	0.00	0.00	0.00	0.00
005-00-58238-012-000	DEBT SERVICE - FIRE ENGINE	0.00	0.00	0.00	0.00	0.00
005-00-58243-010-000	2965000 2020 GO Bonds	0.00	0.00	0.00	0.00	0.00
005-00-58243-012-000	2965000 2020 GO Bonds	4,250.00	2,125.00	4,250.00	2,125.00	50.00
005-00-58245-010-000	4425000 2021 GOPN	25,000.00	30,000.00	30,000.00	0.00	100.00
005-00-58245-012-000	4425000 2021 GOPN	1,969.44	600.00	900.00	300.00	66.67
005-00-58245-099-000	2021 GOPN Issuance Costs	0.00	0.00	0.00	0.00	0.00
005-00-58248-010-000	4900000 2023B GOFBSB	0.00	0.00	0.00	0.00	0.00
005-00-58248-012-000	4900000 2023B GOFBSB	0.00	0.00	0.00	0.00	0.00
DEBT SERVICE		614,014.44	558,285.00	619,370.00	61,085.00	90.14
Total Expenses		614,014.44	558,285.00	619,370.00	61,085.00	90.14
Net Totals		107.22	230,120.49	0.00	-230,120.49	

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Fund: 002 - Water Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
002-00-40300-000-000	Depreciation	16,563.00	0.00	0.00	0.00	0.00
002-00-40800-000-000	Tax Expense	0.00	0.00	0.00	0.00	0.00
Revenues		16,563.00	0.00	0.00	0.00	0.00
002-00-41900-000-000	Payment in Lieu of Taxes	3,955.00	0.00	3,955.00	-3,955.00	0.00
TAXES		3,955.00	0.00	3,955.00	-3,955.00	0.00
002-00-42100-000-000	Customer Contributions	633,972.31	0.00	0.00	0.00	0.00
002-00-42305-000-000	Interest on Special Assessment	0.00	0.00	0.00	0.00	0.00
Special Assessments		633,972.31	0.00	0.00	0.00	0.00
002-00-46101-000-000	Metered Sales Residential	617,171.45	325,324.79	579,124.05	-253,799.26	56.18
002-00-46102-000-000	Metered Sales Commercial	57,403.30	28,094.17	46,779.47	-18,685.30	60.06
002-00-46104-000-000	Metered Services - Pub Auth	3,502.90	1,155.67	2,988.87	-1,833.20	38.67
002-00-46105-000-000	Public Fire Protection	223,034.00	111,517.02	223,034.00	-111,516.98	50.00
002-00-46106-000-000	Metered Sales - Multi Family	150,766.22	77,356.05	134,170.56	-56,814.51	57.66
002-00-46200-000-000	Private Fire Protection Serv	19,236.00	9,618.00	19,236.00	-9,618.00	50.00
002-00-46744-000-000	Water - Tower/Land Rental Fees	0.00	931.70	0.00	931.70	0.00
PUBLIC CHARGES FOR SERVICES		1,071,113.87	553,997.40	1,005,332.95	-451,335.55	55.11
002-00-47001-000-000	Forfeited Discounts	3,926.50	1,584.72	4,000.00	-2,415.28	39.62
002-00-47200-000-000	Cell Tower Rental	26,966.00	11,753.15	23,392.00	-11,638.85	50.24
002-00-47400-000-000	Other Water Revenues	14,195.44	1,103.00	10,000.00	-8,897.00	11.03
002-00-47402-000-000	Water Insp. Fees Collected	2,700.00	1,548.00	2,000.00	-452.00	77.40
002-00-47403-000-000	Well Operation Permits	1,560.00	1,020.00	1,560.00	-540.00	65.38
002-00-47405-000-000	Valve for Meter	0.00	0.00	0.00	0.00	0.00
002-00-47406-000-000	Deduct Meter Permit	350.00	920.00	300.00	620.00	306.67
INTERGOV'T. CHARGES FOR SERV.		49,697.94	17,928.87	41,252.00	-23,323.13	43.46
002-00-48110-000-000	Interest on Accounts	3,031.28	5,487.67	2,000.00	3,487.67	274.38
002-00-48140-000-000	Lease Interest Revenue	2,644.00	0.00	6,318.00	-6,318.00	0.00
MISCELLANEOUS REVENUES		5,675.28	5,487.67	8,318.00	-2,830.33	65.97
002-00-49140-000-000	Note Proceeds	0.00	0.00	0.00	0.00	0.00
002-00-49150-000-000	Note Premium	0.00	0.00	0.00	0.00	0.00
Transfer from San Sewer		0.00	0.00	0.00	0.00	0.00
Total Revenues		1,780,977.40	577,413.94	1,058,857.95	-481,444.01	54.53

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Fund: 002 - Water Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
002-00-58218-012-000	Debt Service - 1125000 TAN	-7,242.00	0.00	0.00	0.00	0.00
002-00-58221-010-000	DEBT PAY - PRINCIPAL 2900GO	0.00	0.00	0.00	0.00	0.00
002-00-58221-012-000	DEBT SERVICE-2900000GORB INT	0.00	0.00	0.00	0.00	0.00
002-00-58222-010-000	DEBT PAY-SAFE DRINK WTR PRINCI	54,840.72	56,047.22	56,047.22	0.00	100.00
002-00-58222-012-000	DEBT PAY-SAFE DRINK WTR INT	12,330.98	6,062.87	11,509.22	5,446.35	52.68
002-00-58245-010-000	4425000 2021 GOPN	265,000.00	280,000.00	280,000.00	0.00	100.00
002-00-58245-012-000	4425000 2021 GOPN	34,297.22	11,500.00	20,200.00	8,700.00	56.93
002-00-58245-099-000	2021 GOPN Issue Costs	0.00	0.00	0.00	0.00	0.00
DEBT SERVICE		359,226.92	353,610.09	367,756.44	14,146.35	96.15
002-00-60000-001-003	Water- Salary / wage - Admin.	48,382.80	30,362.53	59,529.16	29,166.63	51.00
002-00-60000-001-004	Water- Salary / Wage - Labor	53,163.25	23,429.31	51,385.28	27,955.97	45.60
002-00-60000-003-003	Water - Admin - WRS	1,732.70	1,627.62	3,350.01	1,722.39	48.59
002-00-60000-003-004	Water - Labor WRS	2,216.87	1,646.26	3,494.20	1,847.94	47.11
002-00-60000-003-006	Water - Audit GASB 68 & 71	-4,918.00	0.00	0.00	0.00	0.00
002-00-60000-004-003	Water - Admin - Fica / Med	2,341.43	2,202.05	4,553.98	2,351.93	48.35
002-00-60000-004-004	Water - Labor Fica / Med	2,531.43	1,799.38	3,930.97	2,131.59	45.77
002-00-60000-005-003	Water - Admin - Fringe Bene	6,342.37	5,641.58	11,959.62	6,318.04	47.17
002-00-60000-005-004	Water - Labor Fringe Bene	6,021.59	4,233.59	10,139.62	5,906.03	41.75
002-00-60000-006-000	Water - Supplies	5,706.82	2,760.06	6,000.00	3,239.94	46.00
002-00-60000-009-000	Water - Audit	-4,886.89	7,408.33	8,000.00	591.67	92.60
002-00-60000-011-000	Water - Ed / Conf / Travel	2,444.79	666.76	2,000.00	1,333.24	33.34
002-00-60000-014-000	Water - Outside Services	24,289.62	11,712.86	25,000.00	13,287.14	46.85
002-00-60000-015-000	Water - New Meters & Equipment	7,560.53	4,913.04	13,000.00	8,086.96	37.79
002-00-60000-016-000	Water - Fuel	8,842.18	4,214.93	8,000.00	3,785.07	52.69
002-00-60000-022-000	Water - Maintenance/Parts	2,676.51	294.12	3,000.00	2,705.88	9.80
002-00-60000-024-000	Water - Depreciation	262,107.00	0.00	0.00	0.00	0.00
002-00-60000-025-000	Water - Tools & Equipment	636.00	0.00	1,500.00	1,500.00	0.00
002-00-60000-026-000	Water - Worker's Comp	2,282.79	2,700.00	2,700.00	0.00	100.00
002-00-60000-030-000	Water - Liability Insurance	1,510.98	2,000.00	2,000.00	0.00	100.00
002-00-60000-031-000	Water - Property Insurance	0.00	5,300.00	5,300.00	0.00	100.00
002-00-60000-032-000	Water - Automobile Insurance	961.53	1,000.00	1,000.00	0.00	100.00
002-00-60000-033-000	Water - Health Reimbursement	1,285.70	1,034.40	1,701.00	666.60	60.81
002-00-60000-035-000	Water - Payment in Lieu of Tax	62,674.00	31,336.98	68,773.00	37,436.02	45.57
002-00-60000-039-000	Water - Building Maintenance	1,299.99	0.00	2,000.00	2,000.00	0.00
002-00-60000-043-000	Water - Power/Utilities/Phone	30,858.13	19,187.74	33,000.00	13,812.26	58.14
002-00-60000-047-000	Water - Capital Outlay	0.00	0.00	0.00	0.00	0.00
002-00-60000-048-000	Water - Depr Contributed	116,192.00	0.00	0.00	0.00	0.00
002-00-60000-051-000	Water - Repairs & Hydrants	263.63	48,758.62	20,000.00	-28,758.62	243.79
002-00-60000-061-005	Purchased Water - Ashwaubenon	132,109.53	32,396.97	100,000.00	67,603.03	32.40
002-00-60000-061-006	Purchased Water - GBWU	348,668.59	209,424.18	375,000.00	165,575.82	55.85
002-00-60000-061-007	Purchased Water - Lawrence	2,080.83	1,781.80	4,000.00	2,218.20	44.55
002-00-60000-062-000	Water - Chemicals	1,212.00	200.00	1,000.00	800.00	20.00
002-00-60000-078-000	Water - Engineering	0.00	240.50	0.00	-240.50	0.00
002-00-60000-089-000	Water - Regulatory Comm Expens	1,053.28	125.00	1,300.00	1,175.00	9.62
002-00-60000-429-000	Water -Amortization of Premium	-25,858.79	0.00	0.00	0.00	0.00
Water		1,103,785.19	458,398.61	832,616.84	374,218.23	55.06
Total Expenses		1,463,012.11	812,008.70	1,200,373.28	388,364.58	67.65

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Fund: 002 - Water Fund

Account Number	2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
Net Totals	317,965.29	-234,594.76	-141,515.33	93,079.43	165.77

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Fund: 003 - Sanitary Sewer Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
003-00-40300-000-000	Depreciation	-16,563.00	0.00	0.00	0.00	0.00
003-00-40800-000-000	Tax Expense	0.00	0.00	0.00	0.00	0.00
Revenues		-16,563.00	0.00	0.00	0.00	0.00
003-00-42100-000-000	Customer Contributions	775,232.15	0.00	0.00	0.00	0.00
003-00-42305-000-000	Interest on Special Assessment	0.00	0.00	0.00	0.00	0.00
Special Assessments		775,232.15	0.00	0.00	0.00	0.00
003-00-46101-000-000	Metered Sales Residential	1,122,972.37	580,699.06	1,003,664.07	-422,965.01	57.86
003-00-46102-000-000	Metered Sales Commercial	122,380.61	60,683.46	95,130.70	-34,447.24	63.79
003-00-46103-000-000	Metered Sales Industrial	106,484.70	122,845.13	112,966.26	9,878.87	108.74
003-00-46104-000-000	Public Authority Sewer	7,404.96	3,588.24	6,423.10	-2,834.86	55.86
003-00-46106-000-000	Metered Sales - Multi Family	361,775.76	185,785.39	298,299.20	-112,513.81	62.28
PUBLIC CHARGES FOR SERVICES		1,721,018.40	953,601.28	1,516,483.33	-562,882.05	62.88
003-00-47001-000-000	Forfeited Discounts - late fee	7,407.28	2,960.53	6,000.00	-3,039.47	49.34
003-00-47401-000-000	Hook-up Fees Collected	18,300.00	-7,200.00	5,000.00	-12,200.00	-144.00
003-00-47402-000-000	Sewer Insp. Fees Collected	5,655.00	-729.00	3,500.00	-4,229.00	-20.83
003-00-47404-000-000	Other Sewer Revenue	5,741.76	2,870.88	4,500.00	-1,629.12	63.80
003-00-47405-000-000	Principal Forgiveness	0.00	0.00	0.00	0.00	0.00
INTERGOV'T. CHARGES FOR SERV.		37,104.04	-2,097.59	19,000.00	-21,097.59	-11.04
003-00-48110-000-000	Interest on Accounts	2,001.80	2,488.62	4,000.00	-1,511.38	62.22
MISCELLANEOUS REVENUES		2,001.80	2,488.62	4,000.00	-1,511.38	62.22
003-00-49004-000-000	Transfer from Capital Fund	0.00	0.00	0.00	0.00	0.00
003-00-49140-000-000	Note Proceeds	895,000.00	0.00	0.00	0.00	0.00
003-00-49150-000-000	Note Premium	0.00	0.00	0.00	0.00	0.00
Transfer from San Sewer		895,000.00	0.00	0.00	0.00	0.00
Total Revenues		3,413,793.39	953,992.31	1,539,483.33	-585,491.02	61.97

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Fund: 003 - Sanitary Sewer Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
003-00-58219-010-000	DEBT PAY-1300 GO Refund Princi	0.00	0.00	0.00	0.00	0.00
003-00-58219-012-000	DEBT SERVICE -1300000 Ref INT	0.00	0.00	0.00	0.00	0.00
003-00-58221-010-000	DEBT PAY - PRINCIPAL 2900GO	0.00	0.00	0.00	0.00	0.00
003-00-58221-012-000	DEBT SERVICE-2900000GORB INT	0.00	0.00	0.00	0.00	0.00
003-00-58225-010-000	DEBT PAY-5000000 GORB PRINCIPA	1,020,000.00	0.00	0.00	0.00	0.00
003-00-58225-012-000	DEBT SERVICE-5000000GORB INT	19,852.16	0.00	0.00	0.00	0.00
003-00-58245-010-000	4425000 2021 GOPN	45,000.00	55,000.00	110,000.00	55,000.00	50.00
003-00-58245-012-000	4425000 2021 GOPN	5,294.45	1,750.00	32,048.19	30,298.19	5.46
003-00-58245-099-000	2021 GOPN Issue Costs	0.00	0.00	0.00	0.00	0.00
003-00-58247-010-000	8460000 2022 GOPN	0.00	110,000.00	170,000.00	60,000.00	64.71
003-00-58247-012-000	8460000 2022 GOPN	0.00	21,079.44	17,125.00	-3,954.44	123.09
003-00-58247-099-000	2022 GOPN Issue Costs	14,042.29	0.00	0.00	0.00	0.00
003-00-58304-010-000	DEBT PMNT - 2005 DUCK CR PRIN	0.00	141,627.25	141,627.25	0.00	100.00
003-00-58304-012-000	Debt Service-2005 DUCK CR. INT	37,563.69	19,066.79	19,066.79	0.00	100.00
003-00-58305-010-000	DEBT PMNT #1GBMSD PRINCIPAL	0.00	0.00	0.00	0.00	0.00
003-00-58306-010-000	2020 Dutch Cr Interceptor Prin	0.00	34,357.59	34,357.59	0.00	100.00
003-00-58306-012-000	2020 Dutch Cr Interceptor Int	0.00	22,640.61	22,640.61	0.00	100.00
DEBT SERVICE		1,141,752.59	405,521.68	546,865.43	141,343.75	74.15
003-00-59001-000-000	San Sew - Transfer to Gen Fund	40,000.00	40,000.00	40,000.00	0.00	100.00
OTHER FINANCING USES		40,000.00	40,000.00	40,000.00	0.00	100.00
003-00-62000-001-003	San Sew - Admin Salary / Wage	57,149.94	35,031.36	68,867.35	33,835.99	50.87
003-00-62000-001-004	San Sew - Labor Salary / Wage	35,787.57	30,845.11	67,382.08	36,536.97	45.78
003-00-62000-003-003	San Sew - Admin WRS	2,310.68	1,945.08	3,984.99	2,039.91	48.81
003-00-62000-003-004	San Sew - Labor WRS	1,589.40	2,169.76	4,581.99	2,412.23	47.35
003-00-62000-003-006	San Sew - Audit GASB 68 & 71	-5,033.00	0.00	0.00	0.00	0.00
003-00-62000-004-003	San Sew - Admin Fica / Med	2,953.32	2,532.30	5,268.37	2,736.07	48.07
003-00-62000-004-004	San Sew - Labor Fica / Med	1,811.12	2,364.24	5,154.74	2,790.50	45.87
003-00-62000-005-003	San Sew - Admin Fringe Bene	8,408.19	7,163.23	15,001.66	7,838.43	47.75
003-00-62000-005-004	San Sew - Labor Fringe Bene	4,817.35	6,174.07	14,497.27	8,323.20	42.59
003-00-62000-006-000	Sanitary Sewer - Supplies	6,291.93	2,762.95	6,000.00	3,237.05	46.05
003-00-62000-009-000	Sanitary Sewer - Audit	-4,035.99	7,408.33	0.00	-7,408.33	0.00
003-00-62000-011-000	Sanitary Sew - Ed/ Conf / Trav	11,454.15	0.00	500.00	500.00	0.00
003-00-62000-014-000	San Sew - Outside Services	39,813.89	39,434.04	40,000.00	565.96	98.59
003-00-62000-016-000	Sanitary Sewer - Fuel	8,842.18	4,214.93	8,500.00	4,285.07	49.59
003-00-62000-024-000	Sanitary Sewer - Depreciation	301,547.00	0.00	0.00	0.00	0.00
003-00-62000-026-000	Sani Sewer - Worker's Comp	6,848.37	6,100.00	6,100.00	0.00	100.00
003-00-62000-030-000	Sani Sewer - Liability Ins	1,648.34	1,700.00	1,700.00	0.00	100.00
003-00-62000-031-000	Sani Sewer - Property Ins	0.00	900.00	900.00	0.00	100.00
003-00-62000-032-000	Sani Sewer - Automobile Ins	686.81	700.00	700.00	0.00	100.00
003-00-62000-033-000	San Sew - Health Reimbursement	1,285.70	1,034.39	1,971.00	936.61	52.48
003-00-62000-035-000	San Sew Payment in Lieu of Tax	3,955.00	0.00	3,000.00	3,000.00	0.00
003-00-62000-039-000	San Sew - Facilities Maint	5,110.79	59.58	5,200.00	5,140.42	1.15
003-00-62000-040-000	San Sew - Utilities	0.00	0.00	0.00	0.00	0.00
003-00-62000-043-000	San Sewer - Power	7,219.40	4,230.36	8,000.00	3,769.64	52.88
003-00-62000-047-000	San Sew - Capital Outlay	0.00	0.00	0.00	0.00	0.00
003-00-62000-061-007	Purchased Sewer - Lawrence	1,998.65	1,711.42	3,000.00	1,288.58	57.05
003-00-62000-078-000	San Sew - Engineering	166.00	0.00	2,000.00	2,000.00	0.00
003-00-62000-080-000	San Sew - GBMSD Treatment	779,161.03	520,124.34	750,000.00	229,875.66	69.35
003-00-62000-081-000	San Sew - Interceptor Lease	0.00	47.06	0.00	-47.06	0.00

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Fund: 003 - Sanitary Sewer Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
003-00-62000-102-000	Sani Sew - CMAR Sewer Replace	0.00	0.00	12,000.00	12,000.00	0.00
003-00-62000-429-000	Sani Swr - Amortization Premiu	-4,091.08	0.00	0.00	0.00	0.00
SANITARY SEWER		1,277,696.74	678,652.55	1,034,309.45	355,656.90	65.61
Total Expenses		2,459,449.33	1,124,174.23	1,621,174.88	497,000.65	69.34
Net Totals		954,344.06	-170,181.92	-81,691.55	88,490.37	208.32

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Fund: 007 - Storm Water Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
007-00-42100-000-000	Customer Contributions	524,008.41	0.00	0.00	0.00	0.00
Special Assessments		524,008.41	0.00	0.00	0.00	0.00
007-00-43550-000-000	Brown County Bridge Fund	0.00	0.00	0.00	0.00	0.00
INTERGOVERNMENTAL REVENUES		0.00	0.00	0.00	0.00	0.00
007-00-44300-000-000	Storm Wat Building Permits	4,100.00	1,700.00	2,000.00	-300.00	85.00
Licenses & Permits		4,100.00	1,700.00	2,000.00	-300.00	85.00
007-00-46101-000-000	Storm Wat Revenue	484,215.14	491,250.44	491,250.44	0.00	100.00
PUBLIC CHARGES FOR SERVICES		484,215.14	491,250.44	491,250.44	0.00	100.00
007-00-48110-000-000	Storm Wat Interest on Accounts	6,059.52	10,969.74	5,000.00	5,969.74	219.39
MISCELLANEOUS REVENUES		6,059.52	10,969.74	5,000.00	5,969.74	219.39
007-00-49007-000-000	Transfer from Storm Water Fund	0.00	0.00	0.00	0.00	0.00
007-00-49120-000-000	Bond Proceeds	0.00	0.00	0.00	0.00	0.00
007-00-49130-000-000	Bond Premium	0.00	0.00	0.00	0.00	0.00
Transfer from San Sewer		0.00	0.00	0.00	0.00	0.00
Total Revenues		1,018,383.07	503,920.18	498,250.44	5,669.74	101.14

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Fund: 007 - Storm Water Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
007-00-58243-010-000	2965000 2020 GO Bonds	0.00	0.00	0.00	0.00	0.00
007-00-58243-012-000	2965000 2020 GO Bonds	1,128.27	687.50	1,375.00	687.50	50.00
007-00-58243-099-000	2020 GO Issuance Costs	0.00	0.00	0.00	0.00	0.00
DEBT SERVICE		1,128.27	687.50	1,375.00	687.50	50.00
007-00-59004-000-000	Storm Wat Transfer to Capital	0.00	0.00	113,783.00	113,783.00	0.00
OTHER FINANCING USES		0.00	0.00	113,783.00	113,783.00	0.00
007-00-64000-001-003	Storm Wat - Admin Salary/Wage	56,325.59	31,205.46	62,752.13	31,546.67	49.73
007-00-64000-001-004	Storm Wat - Labor Salary/Wage	32,307.16	18,979.83	41,787.20	22,807.37	45.42
007-00-64000-003-003	Storm Wat - Admin WRS	2,690.05	1,945.08	3,985.01	2,039.93	48.81
007-00-64000-003-004	Storm Wat - Labor WRS	1,174.74	1,332.17	2,841.52	1,509.35	46.88
007-00-64000-003-006	Storm Wat - Audit GASB 68 & 71	-4,962.00	0.00	8,000.00	8,000.00	0.00
007-00-64000-004-003	Storm Wat - Admin Fica/Med	3,077.09	2,235.86	3,196.71	960.85	69.94
007-00-64000-004-004	Storm Wat - Labor Fica/Med	1,335.49	1,460.38	4,553.98	3,093.60	32.07
007-00-64000-005-003	Storm Wat - Admin Fringe Bene	10,015.65	7,163.23	15,001.67	7,838.44	47.75
007-00-64000-005-004	Storm Wat - Labor Fringe Bene	3,944.07	3,069.37	7,525.03	4,455.66	40.79
007-00-64000-006-000	Storm Wat - Supplies	2,153.37	1,258.92	2,500.00	1,241.08	50.36
007-00-64000-009-000	Storm Wat - Audit	-1,922.15	3,313.33	2,000.00	-1,313.33	165.67
007-00-64000-011-000	Storm Wat - Ed / Conf / Trav	520.83	1,526.93	1,500.00	-26.93	101.80
007-00-64000-014-000	Storm Wat - Outside Services	34,164.63	15,300.38	40,000.00	24,699.62	38.25
007-00-64000-015-000	Storm Wat - New Equipment	1,945.50	0.00	2,000.00	2,000.00	0.00
007-00-64000-016-000	Storm Wat - Fuel	10,983.71	7,863.74	11,000.00	3,136.26	71.49
007-00-64000-021-000	Storm Wat - Vehicle Maint	16,284.65	15,929.66	15,000.00	-929.66	106.20
007-00-64000-022-000	Storm Wat - Maintenance	2,785.05	271.01	5,000.00	4,728.99	5.42
007-00-64000-024-000	Storm Wat - Depreciation	178,067.00	0.00	0.00	0.00	0.00
007-00-64000-026-000	Storm Wat - Worker's Comp	7,609.30	8,000.00	8,000.00	0.00	100.00
007-00-64000-030-000	Storm Wat - Liability Ins	0.00	0.00	0.00	0.00	0.00
007-00-64000-032-000	Storm Wat - Automobile Ins	0.00	0.00	0.00	0.00	0.00
007-00-64000-033-000	Storm Wat - Health Reimburse	1,154.53	1,034.39	1,971.00	936.61	52.48
007-00-64000-044-000	Storm Wat - Equip Rental	7,312.73	5,580.80	8,500.00	2,919.20	65.66
007-00-64000-047-000	Storm Wat - Capital Outlay	0.00	0.00	0.00	0.00	0.00
007-00-64000-047-119	Storm Water Ditch Align 119	0.00	0.00	0.00	0.00	0.00
007-00-64000-047-181	Storm Water- Ele Water Tower	0.00	0.00	0.00	0.00	0.00
007-00-64000-047-182	Storm Water - 2018 St & Drain	0.00	0.00	0.00	0.00	0.00
007-00-64000-047-183	Storm Water - Public Space Prk	0.00	0.00	0.00	0.00	0.00
007-00-64000-047-191	Storm Wat - 2019 Paving	0.00	0.00	0.00	0.00	0.00
007-00-64000-047-192	2019 Drain Imp 2320-19-02	0.00	0.00	0.00	0.00	0.00
007-00-64000-047-204	Storm Water 2320-20-04	0.00	0.00	0.00	0.00	0.00
007-00-64000-047-221	Autumn Joy Dr 2320-22-01	6,548.56	-6,548.56	0.00	6,548.56	0.00
007-00-64000-047-222	'22 Street & Drain 2320-22-02	57.50	-19,066.26	0.00	19,066.26	0.00
007-00-64000-047-224	Salt Shed 2320-22-04	0.00	0.00	0.00	0.00	0.00
007-00-64000-054-000	Storm Wat - Street Sweeping	9,469.49	4,461.25	11,000.00	6,538.75	40.56
007-00-64000-056-000	Storm Wat - Cty Bridge Aid	0.00	0.00	0.00	0.00	0.00
007-00-64000-059-000	Storm Wat - Legal Expense	0.00	0.00	0.00	0.00	0.00
007-00-64000-078-000	Storm Wat - Engineering	5,698.82	179.50	4,000.00	3,820.50	4.49
007-00-64000-078-119	Storm Water Ditch Align 119	0.00	0.00	0.00	0.00	0.00
007-00-64000-078-182	St & Drain Cont2018 2320-18-02	0.00	0.00	0.00	0.00	0.00
007-00-64000-078-191	Storm Wat - 2019 Paving	0.00	0.00	0.00	0.00	0.00
007-00-64000-078-192	St Water 2019 PROJ 2320-19-02	0.00	0.00	0.00	0.00	0.00
007-00-64000-078-204	Storm Water 2320-20-04CONTRACT	0.00	0.00	0.00	0.00	0.00

Fund: 007 - Storm Water Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
007-00-64000-083-000	Storm Wat - Culvert Replace	1,249.92	34,747.96	30,000.00	-4,747.96	115.83
007-00-64000-087-000	Storm Wat - Permit / Design	0.00	0.00	0.00	0.00	0.00
007-00-64000-088-000	Storm Wat - Repair & Maint	0.00	0.00	80,000.00	80,000.00	0.00
007-00-64000-096-000	Storm Wat - Tax Adjustments	0.00	0.00	0.00	0.00	0.00
Storm Water		389,991.28	141,244.43	372,114.25	230,869.82	37.96
Total Expenses		391,119.55	141,931.93	487,272.25	345,340.32	29.13
Net Totals		627,263.52	361,988.25	10,978.19	-351,010.06	3,297.34

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Fund: 008 - TID #1 Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
008-00-41111-000-000	Tax Increment	3,076,603.96	3,530,617.61	3,739,567.07	-208,949.46	94.41
TAXES		3,076,603.96	3,530,617.61	3,739,567.07	-208,949.46	94.41
008-00-43410-000-000	PERS. PROP STATE AID	0.00	0.00	0.00	0.00	0.00
008-00-43430-000-000	Exempt Computer Aid	1,434.78	0.00	1,438.78	-1,438.78	0.00
INTERGOVERNMENTAL REVENUES		1,434.78	0.00	1,438.78	-1,438.78	0.00
008-00-44941-000-000	TID 1 REIMB	0.00	0.00	0.00	0.00	0.00
Licenses & Permits		0.00	0.00	0.00	0.00	0.00
008-00-48110-000-000	Interest on Accounts	61,306.69	47,807.36	60,000.00	-12,192.64	79.68
008-00-48300-000-000	Land Sales	5,000.00	0.00	0.00	0.00	0.00
MISCELLANEOUS REVENUES		66,306.69	47,807.36	60,000.00	-12,192.64	79.68
008-00-49120-000-000	Bond Proceeds	0.00	0.00	0.00	0.00	0.00
008-00-49130-000-000	Bond Premium	0.00	0.00	0.00	0.00	0.00
008-00-49140-000-000	Note Proceeds	7,565,000.00	0.00	0.00	0.00	0.00
008-00-49150-000-000	Note Premium	237,713.60	0.00	0.00	0.00	0.00
008-00-49160-000-000	Centennial MarketPlace Loan 1	110,851.26	110,851.26	110,851.16	0.10	100.00
008-00-49161-000-000	Centennial MarketPlace Loan 2	15,000.00	15,000.00	15,000.00	0.00	100.00
008-00-49162-000-000	Hobart Crossing 4 Loan	3,000.00	2,400.00	10,887.48	-8,487.48	22.04
008-00-49163-000-000	Team 1848 Loan	0.00	0.00	0.00	0.00	0.00
008-00-49164-000-000	Scott's Subs Loan	0.00	0.00	0.00	0.00	0.00
008-00-49165-000-000	Bayland Builders Payment	0.00	0.00	146,250.00	-146,250.00	0.00
Transfer from San Sewer		7,931,564.86	128,251.26	282,988.64	-154,737.38	45.32
Total Revenues		11,075,910.29	3,706,676.23	4,083,994.49	-377,318.26	90.76

Fund: 008 - TID #1 Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
008-00-58220-010-000	DEBT SERVICE- 1895000	0.00	0.00	0.00	0.00	0.00
008-00-58220-012-000	DEBT SERVICE - 1895000	0.00	0.00	0.00	0.00	0.00
008-00-58225-010-000	DEBT SERVICE - 5000000 GORB	1,640,000.00	0.00	0.00	0.00	0.00
008-00-58225-012-000	DEBT SERVICE - 5000000 GORB	31,797.40	0.00	0.00	0.00	0.00
008-00-58228-010-000	DEBT SERVICE - 1110000 GOPN	247,890.00	0.00	0.00	0.00	0.00
008-00-58228-012-000	DEBT SERVICE - 1110000 GOPN	4,970.21	0.00	0.00	0.00	0.00
008-00-58229-010-000	DEBT SERVICE - 3780000 GORB	105,030.00	110,865.00	110,865.00	0.00	100.00
008-00-58229-012-000	DEBT SERVICE - 3780000 GORB	56,285.87	27,302.70	52,776.11	25,473.41	51.73
008-00-58233-010-000	DEBT SERVICE - 1090000 GORB	110,000.00	115,000.00	115,000.00	0.00	100.00
008-00-58233-012-000	DEBT SERVICE - 1090000 GORB	26,025.00	12,132.50	22,396.25	10,263.75	54.17
008-00-58234-010-000	DEBT SERVICE - 2540000 TAX GO	0.00	0.00	0.00	0.00	0.00
008-00-58234-012-000	DEBT SERVICE - 2540000 TAX GO	0.00	0.00	0.00	0.00	0.00
008-00-58236-010-000	DEBT SERVICE - 1790000 GORB	60,000.00	60,000.00	60,000.00	0.00	100.00
008-00-58236-012-000	DEBT SERVICE - 1790000 GORB	12,862.50	6,026.25	11,242.50	5,216.25	53.60
008-00-58237-010-000	DEBT SERVICE - 1500000 STF	66,173.12	68,489.18	68,489.18	0.00	100.00
008-00-58237-012-000	DEBT SERVICE - 1500000 STF	44,678.14	42,362.08	42,362.08	0.00	100.00
008-00-58239-010-000	DEBT SERVICE - 4065000 GOPN	200,000.00	200,000.00	200,000.00	0.00	100.00
008-00-58239-012-000	DEBT SERVICE - 4065000 GOPN	50,000.00	24,000.00	46,000.00	22,000.00	52.17
008-00-58240-010-000	DEBT SERVICE - 2140000 TX GOPN	0.00	0.00	0.00	0.00	0.00
008-00-58240-012-100	DEBT SERVICE - 2140000 TX GOPN	0.00	0.00	0.00	0.00	0.00
008-00-58241-010-000	DEBT SERVICE - 2715000 BONDS	105,000.00	110,000.00	110,000.00	0.00	100.00
008-00-58241-012-000	DEBT SERVICE - 2715000 BONDS	82,043.75	40,168.75	78,550.00	38,381.25	51.14
008-00-58242-010-000	DEBT SERVICE -1015000 TAX GOPN	105,000.00	110,000.00	110,000.00	0.00	100.00
008-00-58242-012-000	DEBT SERVICE -1015000 TAX GOPN	24,810.00	11,617.50	21,530.00	9,912.50	53.96
008-00-58243-010-000	2965000 2020 GO Bonds	0.00	0.00	0.00	0.00	0.00
008-00-58243-012-000	2965000 2020 GO Bonds	7,750.00	3,875.00	7,750.00	3,875.00	50.00
008-00-58243-099-000	2020 GO Issuance Costs	0.00	0.00	0.00	0.00	0.00
008-00-58244-010-000	1190000 2020 TAX GOPN	0.00	150,000.00	150,000.00	0.00	100.00
008-00-58244-012-000	1190000 2020 TAX GOPN	13,462.50	6,731.25	12,525.00	5,793.75	53.74
008-00-58244-099-000	2020 GOPN Issuance Costs	0.00	0.00	0.00	0.00	0.00
008-00-58245-010-000	4425000 2021 GOPN	0.00	0.00	0.00	0.00	0.00
008-00-58245-012-000	4425000 2021 GOPN	47,466.74	18,178.75	36,357.50	18,178.75	50.00
008-00-58245-099-000	2021 GOPN Issuance Costs	0.00	0.00	0.00	0.00	0.00
008-00-58246-010-000	2340000 2021 TAXABLE GOPN	120,000.00	120,000.00	120,000.00	0.00	100.00
008-00-58246-012-000	2340000 2021 TAXABLE GOPN	5,393.33	2,010.00	3,870.00	1,860.00	51.94
008-00-58246-099-000	2021 TAX GOPN Costs	0.00	0.00	0.00	0.00	0.00
008-00-58247-010-000	8460000 2022 GOPN	0.00	175,000.00	175,000.00	0.00	100.00
008-00-58247-012-000	8460000 2022 GOPN	0.00	187,973.34	296,867.08	108,893.74	63.32
008-00-58247-099-000	2022 GOPN Issuance Costs	151,192.63	0.00	0.00	0.00	0.00
008-00-58299-000-000	REFUNDING BOND ESCROW	0.00	0.00	0.00	0.00	0.00
DEBT SERVICE		3,317,831.19	1,601,732.30	1,851,580.70	249,848.40	86.51
008-00-59009-000-000	Transfer to TID#2	0.00	0.00	0.00	0.00	0.00
OTHER FINANCING USES		0.00	0.00	0.00	0.00	0.00
008-00-68000-001-003	TID #1 Admin Salary / wage	19,400.36	9,478.35	21,957.29	12,478.94	43.17
008-00-68000-001-004	TID#1 Hourly	1,699.46	1,287.23	0.00	-1,287.23	0.00
008-00-68000-003-003	TID #1 Admin WRS	1,086.29	619.99	1,421.33	801.34	43.62
008-00-68000-003-004	TID#1 Hourly WRS	71.65	66.95	0.00	-66.95	0.00
008-00-68000-004-003	TID #1 Admin Fica Med	1,186.32	656.01	5,268.37	4,612.36	12.45
008-00-68000-004-004	TID#1 Hourly Fica / Med	124.05	103.64	0.00	-103.64	0.00

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Fund: 008 - TID #1 Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
008-00-68000-005-003	TID #1 Admin Fringe	3,456.68	2,149.71	15,001.66	12,851.95	14.33
008-00-68000-005-004	TID#1 Hourly Fringe Bene	173.02	0.74	0.00	-0.74	0.00
008-00-68000-006-000	TID #1ED Marketing/Supply	1,613.33	1,189.50	3,000.00	1,810.50	39.65
008-00-68000-009-000	TID #1 Audit	31,173.53	4,448.33	0.00	-4,448.33	0.00
008-00-68000-014-000	TID #1 Outside Services	16,510.50	7,436.86	20,000.00	12,563.14	37.18
008-00-68000-033-000	Insurance - Health Reimburse	291.72	16.52	396.00	379.48	4.17
008-00-68000-040-000	TID #1 Water Irrigation	0.00	0.00	0.00	0.00	0.00
008-00-68000-047-000	TID #1 Capital Outlay	1,252.22	0.00	0.00	0.00	0.00
008-00-68000-047-164	TID#1 C/O Founders/Larson Rd	0.00	0.00	0.00	0.00	0.00
008-00-68000-047-172	TID#1 DEV C/O PROJ 17-02	0.00	0.00	0.00	0.00	0.00
008-00-68000-047-173	TID#1 17UT & ST 2320-18-03	0.00	0.00	0.00	0.00	0.00
008-00-68000-047-181	Cap Out El Wat C/O 2320-18-01	0.00	0.00	0.00	0.00	0.00
008-00-68000-047-182	TID#1-2018 St & Dr 2320-18-02	0.00	0.00	0.00	0.00	0.00
008-00-68000-047-183	TID#1 Pub Sp Park 2320-18-03	0.00	0.00	0.00	0.00	0.00
008-00-68000-047-185	2019 IN-LINE BOOSTER UPGRADE	0.00	0.00	0.00	0.00	0.00
008-00-68000-047-186	2018 ORN LIGHT PROJ 2320-18-06	0.00	0.00	0.00	0.00	0.00
008-00-68000-047-201	N Overland Utility 2320-20-01	0.00	0.00	0.00	0.00	0.00
008-00-68000-047-202	29/VV Interchange 2320-20-02	1,461,324.46	0.00	0.00	0.00	0.00
008-00-68000-047-203	CCB Waterloop 2320-20-03	0.00	0.00	0.00	0.00	0.00
008-00-68000-047-207	Blackberry Ridge 2320-20-07	-11,635.36	-23,042.72	0.00	23,042.72	0.00
008-00-68000-047-208	N Overland Bypass 2320-20-08	0.00	0.00	0.00	0.00	0.00
008-00-68000-047-211	'21 Street & Drain 2320-21-01	0.00	0.00	0.00	0.00	0.00
008-00-68000-047-212	'21 Street & Utilit 2320-21-02	-558.48	0.00	0.00	0.00	0.00
008-00-68000-047-222	'22 Street & Utilit 2320-22-02	0.00	0.00	0.00	0.00	0.00
008-00-68000-047-223	'22 CENTLINE CONST 2320-22-03	3,840,151.94	-48,831.47	0.00	48,831.47	0.00
008-00-68000-053-000	TID #1 Increment Payment	1,172,385.45	0.00	1,344,050.81	1,344,050.81	0.00
008-00-68000-057-000	TID #1 Developer Payment	663,568.26	0.00	628,568.26	628,568.26	0.00
008-00-68000-078-000	TID #1 Engineering	506.04	26.50	0.00	-26.50	0.00
008-00-68000-078-164	TID#1 Eng Founders/Larson Rd	0.00	0.00	0.00	0.00	0.00
008-00-68000-078-172	TID#1 Developement 17-02	0.00	0.00	0.00	0.00	0.00
008-00-68000-078-181	Water Tower Proj 2320-18-01	0.00	0.00	0.00	0.00	0.00
008-00-68000-078-183	Cent Centre Park Sp 2320-18-03	0.00	0.00	0.00	0.00	0.00
008-00-68000-078-185	2019 Inline Booster 2320-18-05	0.00	0.00	0.00	0.00	0.00
008-00-68000-078-186	Orn St. Lighting 2320-18-06	0.00	0.00	0.00	0.00	0.00
008-00-68000-078-201	N Overland Utility 2320-20-01	454.75	34.00	0.00	-34.00	0.00
008-00-68000-078-202	29/VV Interchange 2320-20-02	0.00	0.00	0.00	0.00	0.00
008-00-68000-078-203	CCB Waterloop 2320-20-03	0.00	0.00	0.00	0.00	0.00
008-00-68000-078-207	Blackberry Ridge 2320-20-07	104.00	0.00	0.00	0.00	0.00
008-00-68000-078-208	N Overland Bypass 2320-20-08	0.00	0.00	0.00	0.00	0.00
008-00-68000-078-211	'21 Street & Drain 2320-21-01	0.00	91.50	0.00	-91.50	0.00
008-00-68000-078-212	'21 Street & Utilit 2320-21-02	0.00	0.00	0.00	0.00	0.00
008-00-68000-078-214	2021 ORNAMENTAL LIGHTING	12,797.25	0.00	0.00	0.00	0.00
008-00-68000-078-222	Centerline Ext. 2320-22-02	0.00	9,507.72	0.00	-9,507.72	0.00
008-00-68000-099-000	TID #1 Bond Issuance Costs	0.00	0.00	0.00	0.00	0.00
'22 CENTLINE CONSTt 2320-22-03		7,217,137.44	-34,760.64	2,039,663.72	2,074,424.36	-1.70
Total Expenses		10,534,968.63	1,566,971.66	3,891,244.42	2,324,272.76	40.27
Net Totals		540,941.66	2,139,704.57	192,750.07	-1,946,954.50	1,110.09

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Fund: 009 - TID #2 Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
009-00-41111-000-000	Tax Increment	1,635,404.67	2,106,259.99	2,290,551.35	-184,291.36	91.95
TAXES		1,635,404.67	2,106,259.99	2,290,551.35	-184,291.36	91.95
009-00-43410-000-000	PERS. PROP STATE AID	0.00	0.00	0.00	0.00	0.00
009-00-43430-000-000	Exempt Computer Aid	326.90	0.00	1,434.78	-1,434.78	0.00
INTERGOVERNMENTAL REVENUES		326.90	0.00	1,434.78	-1,434.78	0.00
009-00-44942-000-000	TID 2 - REIMB	7,858.37	0.00	0.00	0.00	0.00
Licenses & Permits		7,858.37	0.00	0.00	0.00	0.00
009-00-48110-000-000	Interest on Accounts	2,676.46	40,600.41	3,000.00	37,600.41	1,353.35
009-00-48300-000-000	Land Sales TID 2	53,235.90	0.00	0.00	0.00	0.00
MISCELLANEOUS REVENUES		55,912.36	40,600.41	3,000.00	37,600.41	1,353.35
009-00-49008-000-000	Transfer from TID#1	0.00	0.00	0.00	0.00	0.00
009-00-49120-000-000	TID #2 Bond Proceeds	0.00	3,500,000.00	0.00	3,500,000.00	0.00
009-00-49130-000-000	TID #2 Bond Premium	0.00	48,141.25	0.00	48,141.25	0.00
009-00-49140-000-000	Note Proceeds	0.00	0.00	0.00	0.00	0.00
009-00-49150-000-000	Note Premium	0.00	0.00	0.00	0.00	0.00
Transfer from San Sewer		0.00	3,548,141.25	0.00	3,548,141.25	0.00
Total Revenues		1,699,502.30	5,695,001.65	2,294,986.13	3,400,015.52	248.15

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Fund: 009 - TID #2 Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
009-00-58228-010-000	DEBT SERVICE - 1110000 GOPN	52,110.00	0.00	0.00	0.00	0.00
009-00-58228-012-000	DEBT SERVICE - 1110000 GOPN	1,044.80	0.00	0.00	0.00	0.00
009-00-58229-010-000	DEBT SERVICE - 3780000 GORB	74,970.00	79,135.00	79,135.00	0.00	100.00
009-00-58229-012-000	DEBT SERVICE - 3780000 GORB	40,176.62	19,488.55	37,671.38	18,182.83	51.73
009-00-58234-010-000	DEBT SERVICE - 2540000 TAX GO	100,000.00	100,000.00	100,000.00	0.00	100.00
009-00-58234-012-000	DEBT SERVICE - 2540000 TAX GO	42,882.50	20,691.25	39,882.50	19,191.25	51.88
009-00-58236-010-000	DEBT SERVICE - 1790000 GORB	20,000.00	20,000.00	20,000.00	0.00	100.00
009-00-58236-012-000	DEBT SERVICE - 1790000 GORB	19,075.00	9,402.50	18,535.00	9,132.50	50.73
009-00-58239-010-000	DEBT SERVICE - 4065000 GOPN	170,000.00	170,000.00	170,000.00	0.00	100.00
009-00-58239-012-000	DEBT SERVICE - 4065000 GOPN	20,525.00	9,412.50	17,125.00	7,712.50	54.96
009-00-58240-010-000	DEBT SERVICE - 2140000 TX GOPN	0.00	0.00	0.00	0.00	0.00
009-00-58240-012-000	DEBT SERVICE - 2140000 TX GOPN	0.00	0.00	0.00	0.00	0.00
009-00-58243-010-000	2965000 2020 GO Bonds	0.00	0.00	0.00	0.00	0.00
009-00-58243-012-000	2965000 2020 GO Bonds	36,700.00	18,350.00	36,700.00	18,350.00	50.00
009-00-58243-099-000	2020 GO Issuance Costs	0.00	0.00	0.00	0.00	0.00
009-00-58246-010-000	2340000 2021 TAXABLE GOPN	150,000.00	155,000.00	155,000.00	0.00	100.00
009-00-58246-012-000	2340000 2021 TAXABLE GOPN	22,251.66	8,452.50	16,711.25	8,258.75	50.58
009-00-58246-099-000	2021 TAX GOPN Costs	0.00	0.00	0.00	0.00	0.00
009-00-58248-010-000	4900000 2023A GOCDB	0.00	0.00	0.00	0.00	0.00
009-00-58248-012-000	4900000 2023A GOCDB	0.00	0.00	0.00	0.00	0.00
009-00-58248-099-000	2023A GOCDB Issuance Costs	0.00	109,566.25	0.00	-109,566.25	0.00
DEBT SERVICE		749,735.58	719,498.55	690,760.13	-28,738.42	104.16
009-00-69000-001-003	TID #2 Admin Sal / Wage	19,400.36	9,478.35	21,957.31	12,478.96	43.17
009-00-69000-001-004	TID #2 HOURLY / WAGE	1,699.94	1,287.75	0.00	-1,287.75	0.00
009-00-69000-003-003	TID #2 Admin WRS	1,086.29	619.99	1,421.33	801.34	43.62
009-00-69000-003-004	TID #2 HOURLY WRS	71.65	66.95	0.00	-66.95	0.00
009-00-69000-004-003	TID #2 Admin Fica / Med	1,186.32	656.01	1,679.73	1,023.72	39.05
009-00-69000-004-004	TID #2 HOURLY FICA/MED	124.08	103.70	0.00	-103.70	0.00
009-00-69000-005-003	TID #2 Admin Fringe Bene	3,456.68	2,149.71	4,517.74	2,368.03	47.58
009-00-69000-005-004	TID #2 HOURLY FRINGE	173.02	0.74	0.00	-0.74	0.00
009-00-69000-006-000	TID #2 ED Marketing/Supply	1,613.35	1,189.50	2,500.00	1,310.50	47.58
009-00-69000-009-000	TID #2 Audit	11,071.87	3,648.33	0.00	-3,648.33	0.00
009-00-69000-014-000	TID #2 Outside Services	13,102.50	12,315.04	10,000.00	-2,315.04	123.15
009-00-69000-033-000	Insurance -Health Reimburse	291.73	16.52	396.00	379.48	4.17
009-00-69000-047-000	TID #2 Capital Outlay	97,295.16	402.38	0.00	-402.38	0.00
009-00-69000-047-166	TID #2 C/O PDK/Tailwind	0.00	0.00	0.00	0.00	0.00
009-00-69000-047-167	TID #2 C/O Lear Lane	0.00	0.00	0.00	0.00	0.00
009-00-69000-047-173	PHASE 2 2017 ST & UT CONST	0.00	0.00	0.00	0.00	0.00
009-00-69000-047-187	Camber Court 2320-18-07	0.00	0.00	0.00	0.00	0.00
009-00-69000-047-188	Fernando Dr Water 2320-18-08	0.00	0.00	0.00	0.00	0.00
009-00-69000-047-205	Southwind Culvert 2320-20-05	0.00	0.00	0.00	0.00	0.00
009-00-69000-047-206	Southwind Estates 2320-20-06	-114,934.25	-97,295.16	0.00	97,295.16	0.00
009-00-69000-047-221	Autumn Joy Dr 2320-22-01	330,386.11	42,163.81	0.00	-42,163.81	0.00
009-00-69000-047-232	Gateway (Volante) 2320-23-02	0.00	0.00	0.00	0.00	0.00
009-00-69000-053-000	TID #2 Increment Payment	651,799.99	0.00	720,275.43	720,275.43	0.00
009-00-69000-057-000	TID #2 Developer Payment	100,000.00	0.00	0.00	0.00	0.00
009-00-69000-078-000	TID #2 Engineering	226.00	0.00	0.00	0.00	0.00
009-00-69000-078-166	TID #2 Eng PDK/Tailwind	0.00	0.00	0.00	0.00	0.00
009-00-69000-078-167	TID #2 Eng Lear Lane	0.00	0.00	0.00	0.00	0.00
009-00-69000-078-187	Camber Court 2320-18-07	0.00	0.00	0.00	0.00	0.00
009-00-69000-078-188	Fernando Dr Water 2320-18-08	0.00	0.00	0.00	0.00	0.00

Fund: 009 - TID #2 Fund

Account Number		2022 Actual 12/31/2022	2023 Actual 07/07/2023	2023 Budget	Budget Status	% of Budget
009-00-69000-078-205	Southwind Culvert 2320-20-05	2,232.77	0.00	0.00	0.00	0.00
009-00-69000-078-206	Southwind Estates 2320-20-06	2,777.33	1,618.00	0.00	-1,618.00	0.00
009-00-69000-078-221	Autumn Joy Ext 2320-22-01	49,987.09	745.88	0.00	-745.88	0.00
009-00-69000-078-232	Gateway (Volante) 2320-23-02	0.00	16,650.53	0.00	-16,650.53	0.00
009-00-69000-099-000	TID #2 Bond Issuance Costs	0.00	0.00	0.00	0.00	0.00
TID #2 Development		1,173,047.99	-4,181.97	762,747.54	766,929.51	-0.55
Total Expenses		1,922,783.57	715,316.58	1,453,507.67	738,191.09	49.21
Net Totals		-223,281.27	4,979,685.07	841,478.46	-4,138,206.61	591.78



TO: Planning & Zoning Commission

RE: CSM, N. Overland Rd., Centerline Dr., & Founders Ter., HB-524

FROM: Todd Gerbers, Director of Planning & Code Compliance

DATE: July 12, 2023

ISSUE: Consider a 2 Lot with 1 Outlot CSM creating two additional parcels consisting of 9.470 (Lot 1), 2.492 (Lot 2), and 2.689 (Outlot 1) acres

RECOMMENDATION: Staff recommends approval.

GENERAL INFORMATION

1. Applicants/Agent: Troy Hewitt – Robert E. Lee & Associates, Inc.
2. Owner: North Hobart Business Park, LLC
3. Parcel: HB-524
4. Zoning: PDD#1: Centennial Centre at Hobart District

ZONING REQUIREMENTS

The property owner is proposing a two lot with 1 outlot CSM splitting one 16.688 acre parcel in to two parcels of 9.470 (Lot 1), 2.492 (Lot 2), and 2.689 (Outlot 1) acres in the area bound by N. Overland Rd., Centerline Dr., and Founders Terrace. The existing parcel is currently zoned PDD#1: Centennial Centre at Hobart District and the proposed CSM would create two new lots and one outlot that maintain compliance with Village Code requirements by maintaining “sufficient area for green space requirements, parking and stormwater management requirements”. These requirements will be reviewed and verified during the Site Review Committee process once a development is submitted for review.

RECOMMENDATION/CONDITIONS

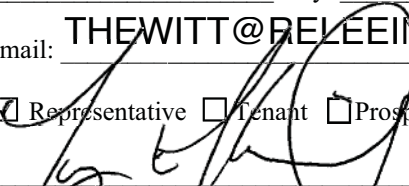
Staff recommends approval as submitted noting that this would be approval for both the preliminary and final CSM should there be no adjustments to the final CSM.



<input type="checkbox"/> Rezoning Review
<input type="checkbox"/> Conditional Use Permit Review
<input type="checkbox"/> Planned Development Review
<input checked="" type="checkbox"/> CSM/Plat Review

Village of Hobart
 Dept of Planning & Code
 Compliance
 2990 S Pine Tree Rd
 Hobart WI 54155
 Phone: (920) 869-3809
 Fax: (920) 869-2048

APPLICANT INFORMATION

Petitioner: TROY HEWITT Date: 7/6/23
 Petitioner's Address: 1250 CENTENNIAL CENTRE BLVD City: HOBART State: WI Zip: 54155
 Telephone #: 920-662-9641 Email: THEWITT@BELEEINC.COM
 Status of Petitioner (Please Check): Owner Representative Tenant Prospective Buyer
 Petitioner's Signature (required):  Date: 7/6/23

OWNER INFORMATION

Owner(s): NORTH HOBART BUSINESS PARK, LLC Date: 7/6/23
 Owner(s) Address: 3323 BAY RIDGE CT City: HOBART State: WI Zip: 54155
 Telephone #: 920-498-9300 Email: Chad Calmes <CCalmes@baylandbuildings.com>
 Ownership Status (Please Check): Individual Trust Partnership Corporation

Property Owner Consent: (required)

By signature hereon, I/We acknowledge that Village officials and/or employees may, in the performance of their functions, enter upon the property to inspect or gather other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Neighborhood Services Department for incomplete submissions or other administrative reasons.

Property Owner's Signature:  Date: 7/6/2023

SITE INFORMATION

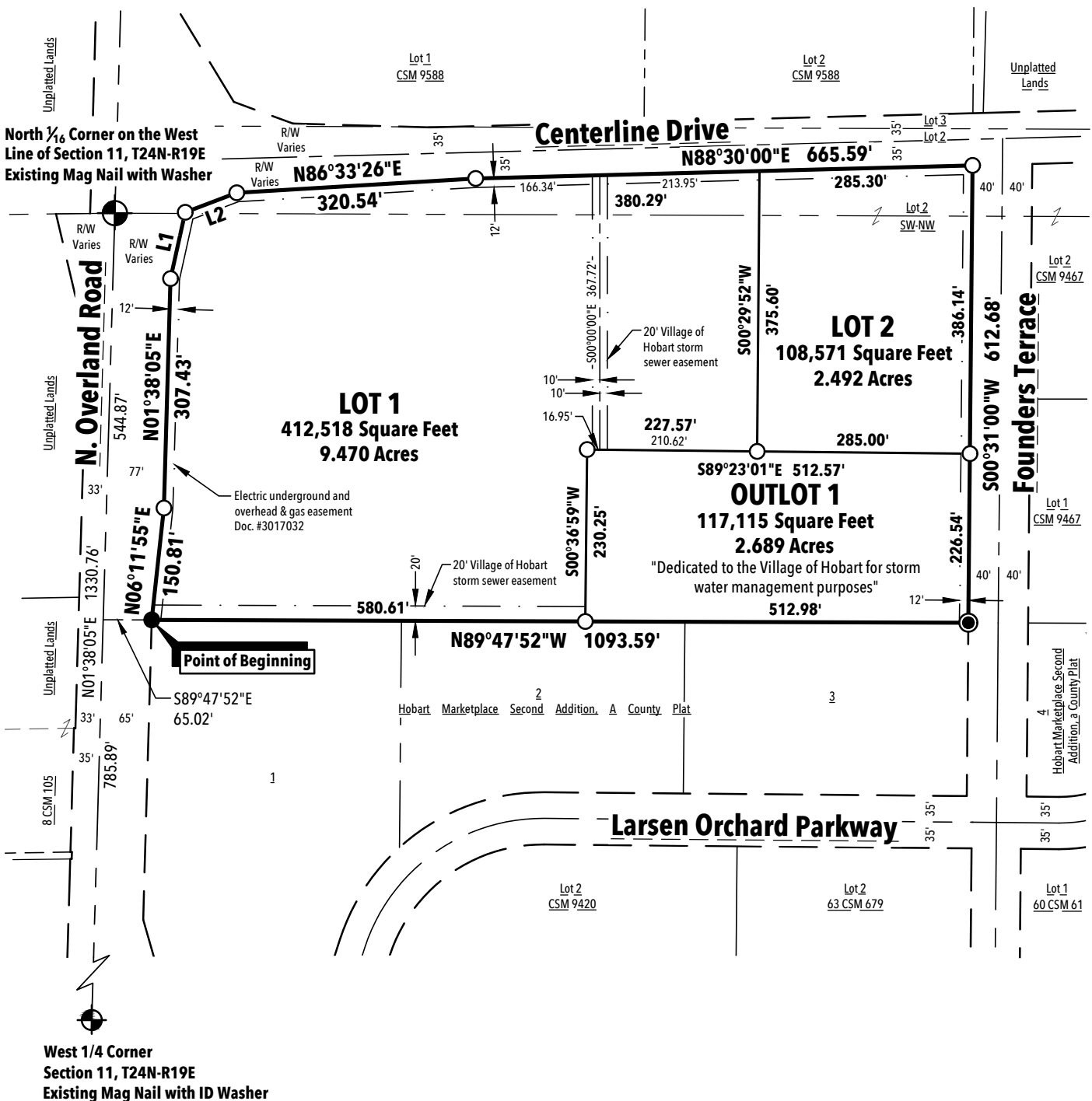
Address/Location of Proposed Project: N OVERLAND RD/CENTERLINE DR Parcel #: HB-524
 Proposed Project Type: BUSINESS USE ON LOT 2
 Current Use of Property: AG Zoning: PDD #1
 Land Uses Surrounding Site:
 North: BUSINESS
 South: COMMERCIAL
 East: BUSINESS
 West: AG

****Please note that a meeting notice will be mailed to all abutting property owners regarding your request prior to any Public Hearing.**

- **Application fees are due at time of submittal. Make check payable to Village of Hobart.**
- **Please refer to the fee schedule for appropriate fee. FEE IS NON-REFUNDABLE**

CERTIFIED SURVEY MAP

PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 AND PART OF LOT 2,
ALL LOCATED IN SECTION 11, TOWNSHIP 24 NORTH, RANGE 19 EAST,
VILLAGE OF HOBART, BROWN COUNTY, WISCONSIN



LEGEND:

- Set 1" x 18" Iron Pipe w/ ID Cap Weighing 1.38 lbs./lin. ft.
- Existing 1" Iron Pipe
- ⊙ Existing 2" Iron Pipe
- ⊕ Recorded County Monument

LINE TABLE:

Line #	Length	Direction
L1	90.94'	N12°31'12"E
L2	73.79'	N69°17'03"E

AFFECTED TAX PARCEL:
HB-524

SCALE: 1" = 200'



Bearings are referenced to the Brown County Coordinate System. The west line of Southwest 1/4 of the Northwest 1/4 of Section 11, T24N-R19E bears N01°38'05"E.

REL Robert E. Lee & Associates, Inc.

1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

R:\2000\2035\2035496\dwg\2035496_csm.dwg

CERTIFIED SURVEY MAP

PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 AND PART OF LOT 2, ALL LOCATED IN SECTION 11,
TOWNSHIP 24 NORTH, RANGE 19 EAST, VILLAGE OF HOBART, BROWN COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

I, Troy E. Hewitt, Professional Land Surveyor, do hereby certify that by the order and under the direction of the owners listed hereon, I have surveyed, divided and mapped a parcel of land being part of the Southwest 1/4 of the Northwest 1/4 and part of Lot 2, all located in Section 11, Township 24 North, Range 19 East, Village of Hobart, Brown County, Wisconsin more fully described as follows:

Commencing at the West $\frac{1}{4}$ corner of said Section 11; thence N01°38'05"E, 785.89 feet on the west line of said Northwest $\frac{1}{4}$ to the westerly extension of the north line of Lot 1, Hobart Marketplace Second Addition, a County Plat, Volume 1, Page 290, Document Number 2878308; thence S89°47'52"E, 65.02 feet on said westerly extension to the east right of way of North Overland Road, the POINT OF BEGINNING; thence N06°11'55"E, 150.81 feet on said east right of way; thence N01°38'05"E, 307.43 feet on said east right of way; thence N12°31'12"E, 90.94 feet on said east right of way to the south right of way of Centerline Drive; thence N69°17'03"E, 73.79 feet on said south right of way; thence N86°33'26"E, 320.54 feet on said south right of way; thence N88°30'00"E, 665.59 feet on said south right of way to the west right of way of Founders Terrace; thence S00°31'00"W, 612.68 feet on said west right of to the northeast corner of Lot 3 of said Hobart Marketplace Second Addition, a County Plat; thence N89°47'52"W, 1093.59 feet on the north line of Lots 1, 2 and 3 of said Hobart Marketplace Second Addition, a County Plat to said east right of way.

Said parcel contains 638,204 square feet or 14.651 acres of land more or less subject to any and all easements and restrictions of record.

That the within map is a true and correct representation of the exterior boundaries of the land surveyed and that I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes in the surveying, dividing and mapping of the same.

Dated this _____ day of _____, 2023.

Troy E. Hewitt PLS #2831
ROBERT E. LEE & ASSOCIATES, INC.

SURVEYOR'S NOTES:

The property owners, at the time of construction, shall implement the appropriate soil erosion control methods outlined in the Wisconsin Construction Site Erosion and Sediment Control Technical Standards (available from the Wisconsin Department of Natural Resources) to prevent soil erosion. However, if at the time of construction the Village has an adopted soil erosion control ordinance, it shall govern over this requirement. This provision applies to any grading, construction or installation-related activities.

RESTRICTIVE COVENANT:

The land on all side and rear lot lines of all lots shall be graded by the owner and maintained by the abutting property owners to provide for adequate drainage of surface water.

CERTIFIED SURVEY MAP

PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 AND PART OF LOT 2, ALL LOCATED IN SECTION 11,
TOWNSHIP 24 NORTH, RANGE 19 EAST, VILLAGE OF HOBART, BROWN COUNTY, WISCONSIN

RESTRICTIVE COVENANTS:

The undersigned, being the owner of the real estate legally described on Sheet 2 of 6 and mapped on Sheet 1 of 6 of this Certified Survey Map (the "Subject Real Estate") hereby subject said real estate to the covenants contained herein. Each part of the Subject Real Estate shall be held, sold and conveyed only subject to the following covenants, conditions and restrictions, which shall constitute covenants running with land, and shall be binding upon all parties acquiring or holding any right, title or interest in the Subject Real Estate (or any part thereof), their heirs, personal representatives, successors or assigns, and the covenants contained herein shall inure to the benefit of each owner thereof.

1. **Restriction on Transfer.** Without the express written consent of the Village of Hobart, no owner of any interest in the Subject Real Estate (or any part thereof) shall transfer any interest in the Subject Real Estate, to any individual, entity (whether corporation, limited liability company, limited partnership, limited liability partnership, general partnership or otherwise), organization, or sovereign nation, or during the period of ownership take any other action, the result of which would: (1) remove or eliminate the Subject Real Estate (or any part thereof) from the tax rolls of the Village of Hobart; (2) diminish or eliminate the payment of real estate taxes levied or assessed against the Subject Real Estate (or any part thereof), and/or (3) remove the Subject Real Estate (or any part thereof) from the jurisdiction of the Village of Hobart, including but not limited to, zoning authority and controls. This restriction shall apply to the transfer of an interest in an entity that is an owner of the Subject Real Estate if, as a result of the transfer, any of items (1) - (3) above would occur. Notwithstanding the foregoing, nothing contained in this Restrictive Covenant, including without limitation this paragraph, shall be deemed or construed to: (i) prevent, limit or restrict any owner or holder of any interest in the Subject Real Estate (or any part thereof) from contesting, protesting, appealing or otherwise challenging (through whatever lawful means are necessary or advisable) the amount of any real property tax levied or assessed by any "taxation district" or "taxing jurisdiction" (as the foregoing terms are defined in and by Wis. Stats. Section 74.01(6) - (7) and/or successor statutes thereto and/or regulations promulgated thereunder) including without limitation the State of Wisconsin, Brown County, the Village of Hobart, municipal or school district, township or other jurisdiction assessing "general property taxes" (as defined by Wis. Stats. Section 74.01(1) or successor statutes and/or regulations promulgated thereunder) levied or assessed against the Subject Real Estate (or any part thereof) and/or "special assessments", "special charges", "special tax" (as the foregoing terms are defined in and by Wis. Stats. Section 74.01(1) - (5) and/or successor statutes thereto and/or regulations promulgated thereunder) and/or other municipal or governmental charges levied or assessed against the Subject Real Estate; (ii) effect a waiver, abrogation, release or relinquishment of any constitutional rights granted to or held by real property owners under the constitution or laws of the United States and/or the State of Wisconsin, including without limitation pursuant to Chapters 74 and 75, Wis. Stats.; or (iii) except as expressly covenanted and agreed herein, to cause the Subject Real Estate to be taxed or otherwise treated by the Village of Hobart in any manner differently from any other parcel of real estate located within the Village of Hobart's lawful taxing jurisdiction, zoning authority and/or jurisdiction of the Village of Hobart.
2. **Notice of Transfer.**
 - (a) **Notice and Consent to Transfer.** Prior to any transfer of any interest in the Subject Real Estate (or any part thereof) the party proposing to transfer an interest shall comply with the following. The transferor shall provide advance written notice of the intended transfer, executed by both the transferor and the intended transferee of such interest, to the Village of Hobart. The notice shall contain: (1) a complete and accurate description of the interest to be transferred and the relevant part(s) of the Subject Real Estate affected; (2) the correct legal name and current business address of the transferee; and (3) a legally enforceable consent agreement from the transferor and transferee acknowledging knowledge of these Restrictive Covenants and, further agreeing that the Subject Real Estate shall be subject to the terms and conditions hereof following the transfer and that transferee will take no action in violation of these Restrictive Covenants. The notice of transfer shall be delivered to the Village of Hobart not later than fifteen (15) calendar days prior to any transfer of any interest in the Subject Real Estate or any portion thereof. The Village of Hobart shall have fifteen (15) days from the date of the notice of transfer to object to the transfer as being in violation of the terms of these Restrictive Covenants by forwarding written notice thereof to the transferor. In the event of such an objection, the transferor shall be prohibited from transferring the interest alleged to be transferred until such time as a court of competent jurisdiction determines that the proposed transfer does not violate the terms of these Restrictive Covenants.
 - (b) **Failure to Act.** If the Village of Hobart fails to timely object to the transfer within fifteen (15) calendar days, the transfer may occur; provided, however, that the Village of Hobart's failure to object shall not operate, in any manner, as a waiver of any of the restrictions set forth herein or the consent to violate any of the terms hereof.
 - (c) **Basis for Objection.** Village of Hobart shall not unreasonably withhold or delay its consent to any transfer of any interest subject to these Restrictive Covenants, and the sole and exclusive basis for any objection made pursuant to the foregoing process shall be that the transfer would cause a violation of these Restrictive Covenants.
 - (d) **Inapplicability.** Notwithstanding anything in these Restrictive Covenants to the contrary, the foregoing provisions are not intended to affect, and shall not apply to: (i) any transferor's grant of utility, ingress/egress, access, maintenance, signage, drainage, conservation or other easements or similar interests of any type or nature in the Subject Real Estate (or parts thereof) for the benefit of third parties which are immaterial to the fee ownership of the Subject Real Estate; (ii) any transferor's grant to a third party or parties of any real estate security agreement, mortgage(s), deed in trust, Uniform Commercial Code (UCC) fixture or other filing or other similar security devices or instrument evidencing a collateral interest in the Subject Real Estate (or any part thereof) to be held by any bank, credit union, savings and loan or saving bank, and/or other lenders in consideration of past, present and/or future indebtedness by any transferor, unless, and not until, there is a foreclosure or execution on such real estate security instrument which results in the transfer of title to the Subject Real Estate (or any part thereof); or (iii) any other grant of a material interest in the Subject Real Estate (or part thereof) which does not substantially alter the fee simple or other equitable ownership in the Subject Real Estate and does not result in the violating the restrictions contained in paragraph 1 above.

CERTIFIED SURVEY MAP

PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 AND PART OF LOT 2, ALL LOCATED IN SECTION 11,
TOWNSHIP 24 NORTH, RANGE 19 EAST, VILLAGE OF HOBART, BROWN COUNTY, WISCONSIN

RESTRICTIVE COVENANTS:

3. **Waiver of Certain Restrictions.** Notwithstanding anything in these Restrictive Covenants to the contrary, the restrictions set forth in paragraph 1, hereof, as restrictions (1) and (2) which pertain to tax assessments against the Subject Real Estate (or any part thereof), shall be deemed to have been waived by the Village as to any owner and proposed transferee of the Subject Real Estate (or any part thereof), provided that the proposed transferee enters into a written and legally enforceable agreement, that the proposed transferee will make payments to the Village of Hobart in lieu of real estate taxes, which payments shall equal the tax assessments which would otherwise be due the Village of Hobart, Brown County, Pulaski School District and Vocational/Technical School (or any other beneficiary of real estate taxes) for the Subject Real Estate (or portion) owned or proposed to be transferred, and which shall be due at the time real estate tax payments are due from the real estate tax assessed parcels of the Village of Hobart and that the obligation to make said payment shall be in full force and effect for so long as the proposed transferee holds title to the Subject Real Estate (or any portion thereof). The proposed transferee must further confirm and agree, in writing to the Village of Hobart, that in the event that any such payment in lieu of real estate taxes is not made when due, the proposed transferee consents to the imposition of a lien on the Subject Real Estate (or portion) in favor of the Village, in the amount of the unpaid amount. With respect to restriction (3) contained in paragraph 1, the Village will agree to waive this restriction upon receipt of a legally enforceable consent agreement whereby the owner or proposed transferee agrees to be bound by the jurisdiction of the Village of Hobart, including, but not limited to, zoning authority and controls.
4. **Duration of Restrictions.** The covenants, conditions, and restrictions contained in this instrument are to run with the land and shall be binding on all parties and all persons claiming under them, unless and until an instrument terminating the covenants set forth herein, or any portion thereof, is executed by the owners of record title and Village of Hobart and filed with the Register of Deeds for Brown County, Wisconsin.
5. **Reformation of Covenants.** If any provision or clause of these Restrictive Covenants is held to be invalid or inoperative by a court of competent jurisdiction, then such clause or provision shall be severed herefrom without affecting any other provision or clause of this Agreement, the balance of which shall remain in full force and effect; provided, however, that if such provision or clause may be modified for it to be valid as a matter of law, then the provision or clause shall be deemed to be modified so as to be enforceable to the maximum extent permitted by law.
6. **Amendment of Covenants.** These Restrictive Covenants may be amended by the Village without the consent of any owner, lien holder or other party having an interesting the Subject Real Estate if an issue arises with respect to the invalidity or enforceability of any clause or provision and said amendment is required to render said provision or clause valid and enforceable to the maximum extent permitted by law. Any other amendment shall require the consent of the Village and the record owner(s) holding title to at least 75% of the total assessed value of the Subject Real Estate.
7. **Miscellaneous.**
 - (a) **Expenses.** In the event that any legal action is filed arising out of, or relating to these Restrictive Covenants and the Village of Hobart is a party to said action, in the event that the Village of Hobart is a prevailing party, all non-prevailing parties, jointly and severally, shall be liable to the Village of Hobart for all costs and expenses incurred by the Village of Hobart in defending or prosecuting such action, including reasonable attorney fees.
 - (b) **Notices.** All notices or other communications required or permitted to be given hereunder shall be in writing and shall be considered to be given and received in all respects when personally delivered or sent by prepaid telex, cable or telecopy or sent to reputable overnight courier service or three (3) days after deposit in the United States Mail, certified mail, postage prepaid, return receipt requested.
 - (c) **Binding Effect.** These restrictive covenants shall be binding upon the Subject Real Estate as a covenant running with land and shall bind all present and future owners of any interest in the Subject Real Estate or any portion thereof.
 - (d) **Paragraph Headings.** The headings in this document are for purposes of convenience and ease of reference only and shall not be construed to limit or otherwise affect the meaning of any part of this agreement.
 - (e) **Applicable Law.** Any and all actions or proceedings seeking to enforce any provision of, or based upon any right arising out of, these Restrictive Covenants shall be brought against a party in the circuit court of Brown County, State of Wisconsin (sitting in Green Bay, Wisconsin) and each of the parties to any such action consents to exclusive jurisdiction of such court(s) (and the appropriate appellate courts therefrom) in any such account or proceeding and waives any objection to venue laid therein. By acceptance of a deed transferring title ownership of any portion of the Subject Real Estate, the title owner hereby waives any defense to an action filed with respect to these Restrictive Covenants by the Village based on sovereign immunity.

OWNER: NORTH HOBART BUSINESS PARK, LLC

By: _____

Print name and title: _____

STATE OF WISCONSIN)

) SS

COUNTY OF BROWN)

Personally came before me this _____ day of _____, 2023, the above signed owner of the Subject Real Estate, namely North Hobart Business Park, LLC to me known to be the person who executed the foregoing instrument.

Notary Public, Brown County, WI

My Commission Expires _____

 **Robert E. Lee**
& Associates, Inc.

1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releeinc.com

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SHEET 4 OF 6

CERTIFIED SURVEY MAP

PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 AND PART OF LOT 2, ALL LOCATED IN SECTION 11,
TOWNSHIP 24 NORTH, RANGE 19 EAST, VILLAGE OF HOBART, BROWN COUNTY, WISCONSIN

OWNER'S CERTIFICATE:

As owners, we do hereby certify that we caused the land described on this Certified Survey Map to be surveyed, divided, mapped and combined as represented on this map. We also do further certify that this Certified Survey Map is required by s-236.34 to be submitted to the following for approval or objection:

VILLAGE OF HOBART
BROWN COUNTY

North Hobart Business Park, LLC Date

Print name and title

STATE OF WISCONSIN)
_____) COUNTY) SS

Personally came before me this _____ day of _____, 2023, the above named to me known to be the same persons who executed the foregoing instrument and acknowledged the same.

Notary Public, State of Wisconsin

(print name) _____

My commission expires: _____

MORTGAGE CERTIFICATE

Village of Hobart, a municipal corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, dedicating and mapping of the land described on this certified survey map, and does hereby consent to the above certificate of North Hobart Business Park, LLC, owner.

IN WITNESS WHEREOF, the said Village of Hobart has caused these presents to be signed by, Rich Heidel, its President, and countersigned by Erica Berger, its Clerk, at Hobart, Wisconsin, and its corporate seal to be hereunto affixed this _____ day of _____, 2023.

In the presence of:

Village of Hobart

Rich Heidel, Village President Date

Erica Berger, Village Clerk Date

(Corporate Mortgagee Notary Certificate)

STATE OF WISCONSIN)
_____) COUNTY) SS

Personally came before me this _____ day of _____, 2023, _____, President, and _____, Clerk of the above named municipal corporation, to me known to be the persons who executed the foregoing instrument, and to me known to be such President and Clerk of said municipal corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said municipal corporation, by its authority.

(Notary Seal) _____ Notary Public,

_____, Wisconsin

My commission expires _____.

CERTIFIED SURVEY MAP

PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 AND PART OF LOT 2, ALL LOCATED IN SECTION 11,
TOWNSHIP 24 NORTH, RANGE 19 EAST, VILLAGE OF HOBART, BROWN COUNTY, WISCONSIN

BROWN COUNTY PLANNING COMMISSION:

Approved for the Brown County Planning Commission this _____ day of _____, 2023.

Karl Mueller, Senior Planner

VILLAGE OF HOBART BOARD APPROVAL:

Approved by the Village of Hobart this _____ day of _____, 2023.

Erica Berger, Village Clerk

TREASURER'S CERTIFICATE:

As duly elected Brown County Treasurer, I hereby certify that the records in our office show no unredeemed taxes and no unpaid or special assessments affecting any of the lands included in this Certified Survey Map as of the date listed below.

Paul D. Zeller
Brown County Treasurer

Date



TO: Planning & Zoning Commission

RE: CUP for Parcel HB-550-3, 4758 Forest Rd. for the preliminary plan for the Planned Development Overlay District

FROM: Todd Gerbers, Director of Planning & Code Compliance

DATE: July 12, 2023

ISSUE: Consider a request for a Conditional Use Permit (CUP) on parcel HB- HB-550-3, 4758 Forest Rd. for the preliminary plan for the Planned Development Overlay District

RECOMMENDATION: Staff recommends conditional approval

GENERAL INFORMATION

1. Applicants/Agent: Mau & Associates, LLP (Steve Bieda)
2. Owner: KES Excavating / Village of Hobart
3. Parcel: HB-550-3
4. Current Zoning: R-1: Residential District with a R-7: Planned Unit Development Overlay District

ZONING REQUIREMENTS

The Applicant, on behalf of their client, is requesting the review for a Conditional Use Permit (CUP) for the preliminary plan of the Planned Development Overlay District (PDD) on the property located 4758 Forest Rd. (parcel HB-550-3). The PDD is proposed to include five (5) separate lots for detached single-family dwellings and one (1) outlot for stormwater management along with a private drive from Forest Rd. to serve the development. This property received the R-1: Residential District base zoning with the R-7: Planned Development Overlay District back in September 2022, and the applicant is now bringing forward the preliminary plans for the PDD for the proposed single-family residential development.

All six (6) lots (5 buildable and 1 outlot) have frontage on a public roadway, however, access from that roadway (Centennial Centre Blvd.) is restricted due to the grade differential, which is noted on the plat. Therefore, access to this development will be from a common driveway from Forest Rd. With the WDOT still maintaining ownership of right-of-way adjacent to this parcel. The private driveway as drawn is looped to not only allow better access to the individual units, but also is required for access for emergency vehicles. This driveway is drawn at 20' in most areas, however, it shall be constructed to maintain 24' in width for the entire distance. The PDD allows for flexibility in the lot sizes and the five (5) lots as proposed are narrower in width and two (2) are slightly smaller in area than what is required by the base zoning. As for the utilities, the site will be serviced by municipal water and sanitary sewer. The proposed private fire hydrant location shall be approved by the Village Fire Chief.

As for the residential dwellings, they are planned to be around 1,350 square feet of finished area with a minimum of two bedrooms and two stall attached garages. Village Staff is working with the applicant to gather greater details on the proposed development which will be either brought to the meeting or provided during the review of the final plans for the PDD.

The developer shall also establish a restrictive covenant or Home Owners Association (HOA) overlay to coordinate maintenance of amenities and properties as outlined within the HOA documents. Such document shall be recorded with Brown County and a copy of the recorded document shall be supplied to the Village with the Village being involved with any future modifications to the document as it relates to maintenance of amenities or issues directly addressed in this ordinance. The requirements established within the document shall be enforced by the developer and/or the property owners (association).

RECOMMENDATION/CONDITIONS

Staff recommends conditional approval of the preliminary plan for the Conditional Use Permit for the PDD Overlay as submitted subject to the following conditions:

1. Private driveway shall maintain a minimum of 22 feet in width for the entire distance of the driveway/private roadway
2. Location of private fire hydrant shall be approved by the Village Fire Chief
3. Restrictive covenants / Home Owners Association document shall be recorded with Brown County with a copy of the recoded document submitted to and on file with the Village
4. Details of the dumpster enclosure shall be presented to the Village for review and approval



- Rezoning Review
- Conditional Use Permit Review
- Planned Development Review
- CSM/Plat Review

Village of Hobart
 Dept of Planning & Code
 Compliance
 2990 S Pine Tree Rd
 Hobart WI 54155
 Phone: (920) 869-3809
 Fax: (920) 869-2048

APPLICANT INFORMATION

Petitioner: Steve Bieda Date: 6-30-22
 Petitioner's Address: 400 Security Blvd Ste 1 City: Green Bay State: WI Zip: 54313
 Telephone #: 920.434.9670 Email: sbieda@mau-associates.com

Status of Petitioner (Please Check): Owner Representative Tenant Prospective Buyer

Petitioner's Signature (required): _____ Date: _____

OWNER INFORMATION

Owner(s): Village of Hobart Date: 6-30-22
 Owner(s) Address: 2990 S Pine Tree Rd City: Hobart State: WI Zip: 54155
 Telephone #: 920.869.1011 Email: _____

Ownership Status (Please Check): Individual Trust Partnership Corporation

Property Owner Consent: (required)
 By signature hereon, I/We acknowledge that Village officials and/or employees may, in the performance of their functions, enter upon the property to inspect or gather other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Neighborhood Services Department for incomplete submissions or other administrative reasons.

Property Owner's Signature:  Date: 7-8-22

SITE INFORMATION

Address/Location of Proposed Project: 4758 Forest Rd Parcel #: HB- 550-3
 Proposed Project Type: Rezoned to PDD (R-1 with R-7 overlay)
 Current Use of Property: Residential Zoning: A-1
 Land Uses Surrounding Site:
 North: Highway Corridor
 South: Residential
 East: Residential/Vacant Land
 West: Residential/Vacant Land

**Please note that a meeting notice will be mailed to all abutting property owners regarding your request prior to any Public Hearing.

- > Application fees are due at time of submittal. Make check payable to Village of Hobart.
- > Please refer to the fee schedule for appropriate fee. FEE IS NON-REFUNDABLE

CONDITIONAL USE PERMIT / PLANNED DEVELOPMENT APPLICATIONS

Briefly explain how the proposed **conditional use/development plan** will not have a negative effect on the issues below.

<p>1. Health, safety, and general welfare of occupants of surrounding lands. Please See Narrative</p>
<p>2. Pedestrian and vehicular circulation and safety. Please See Narrative</p>
<p>3. Noise, air, water, or other forms of environmental pollution. Please See Narrative</p>
<p>4. The demand for and availability of public services and facilities. Please See Narrative</p>
<p>5. Character and future development of the area. Please See Narrative</p>

KES Excavating PD Rezone Request

Revised 07/03/23

HB-550-3 at the intersection of Forest and Centennial Centre

Table of Contents

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Home Concept Baseline Design Images	8

Narrative

The existing 1.549-acre parcel has been residential with a single home on the property. It's unique location alongside, mid-block on Centennial Centre has made redevelopment of the currently A1 lot a bit difficult. Past ideas have been a small multi family development on the lot to keep of with the continual demand needs for that specific type of housing. This planned development is seeking a single-family use for 5 residences with a single driveway off Forest Road to service development. Backs of homes will face the road with front of homes facing the private drive.

Each of the five homes will be single family residential. Conceptual plans for a craftsman and modern farmhouse home have been included with this submittal. While these are not the final building plans (each building plan will still need normal site plan approval like any typical single-family development within the village) the designs will be the basis for which individualized custom tweaking will be done for potential home buyers. The size and scope of the homes calls for 2 bedroom, 2 bath, 2 stall attached garages, with room for 2 driveway parking spaces in each lot. The building sizes will be approximately 1350 feet square feet depending on tweaks to concept plans.

Projecting 2.5 residents per home, about 15 people would be projected to live in new homes.

Each building will maintain their own yards like and driveway like typical single-family homes. An agreement will be made by property owners to maintain the shared driveway and storm water pond.

Each parcel will maintain its own parcel boundaries with landscaping and maintenance, except for said shared driveway and stormwater pond which will have its own separate agreement.

This development and accompanying development work well as a transition between the highly intensive Highway 29 and the growing backbone of the north side of the village with the Centennial Centre corridor. This development will continue to bring needed and wanted single family homes to the village while creating a transition of use from the arterials to the larger lots to the south. Traffic will be handled through said single driveway, eliminating numerous potential points of impact along Centennial Centre and placing them to a single point, well south of the Forest intersection. Traffic addition will be minimal and the overwhelming number of trips will be made going north to Forest and Centennial Center rather than south down Forest as the street fabric of the area works better to go east, west, south, and north unless visiting a home along Forest, Hill, or Crooked Creek.

Lighting will be maintained by individual property owners comparable to any typical single-family standards for a home. No lighting is proposed for the private drive. Single family homes will have HVAC equipment and will be noted during building permit approvals.

Pending zoning approvals, the development will be engineered for the driveway, grading, and stormwater needs.

Health, safety, and general welfare of occupants of surrounding lands:

The rezone to PD will allow for continued incremental growth along Centennial Centre/Highway 29 corridor. The rezone will work well with the vacant land in the existing Forest Road and support the continued demand for single family housing by utilizing land and a parcel size which would be difficult to develop

The site is along Centennial Centre and will utilize lands along the corridor which can bring added homes and density along the road. This maintains a light transition from the goals of bringing improvement along Centennial Centre while having a use which complements the existing homes on larger parcels to the south.

Pedestrian and vehicular circulation and safety:

One single access point will come off Forest, well away from the intersection with Centennial Centre. Having a single ingress/egress off CC, ensures points of conflict are limited to one point, rather than driveways leading on off the arterial road.

Noise, air, water, or other forms of environmental pollution:

New development along the Centennial Centre corridor has and will continue to incrementally grow to serve the needs of the greater Hobart area. Stormwater needs will be handled by a pond on the neighboring property. The overwhelming noise pollution in the area comes from highway traffic and building form will act as a barrier to residents to the south. Residents who will purchase homes will have no disillusion of the highway and the noise which resonates. This could be an issue to some potential buyers, but we feel many potential buyers will be content with noise thanks in large part to the desire to be apart of Hobart and the ongoing improvements, business, public spaces, and access along Centennial Centre.

The demand for and availability of public services and facilities:

The site will utilize water and sewer along the Centennial Centre. The addition of 5 single family homes will fit well into the large capacity of improved public services in the corridor.

Character and future development of the area:

This rezone is submitted in conjunction with a neighboring development for business at the corner. Both developments will work with one another to create a single private drive off Forest and shared stormwater management. A rezone allows for continued incremental growth to substantiate the investments the village has made to grow residential development along Centennial Center.

Legal Description

That Part of Lot 6, Section 12, Village of Hobart, Brown County, Wisconsin in SE ¼ of Sec 12-T24N-R19 E described in J3295-26 ex road ex part of Centennial Centre Blvd and N1/2 of vacated road described in 2877484.

Single Family Residential Statistics

Building Sizes

Proposed Concept: Craftsman and Modern

Typical size:

Setbacks: North (Centennial Centre): 30' Building Setback
South: 30' Building Setback (20' feet from north edge of private drive)
Side Yard: 7'

Max Height: 25'

Floors: Single, at grade entry

Materials:

Each home to be custom built. Will meet standards set in 295-34(b)

Onsite Parking

Each residence to have 2 stall attached garage with room to have two stalls outside on the driveway. Additionally, the development will have a visitor parking area off the shared drive

Lighting

Each home to provide its own lighting which will be noted with individual building permit applications. No extra lighting to be provided in the private shared drive or pond

Landscaping

Each home will maintain its landscaping for its parcel like a typical single-family home. Area around the pond will be maintained.

Refuse

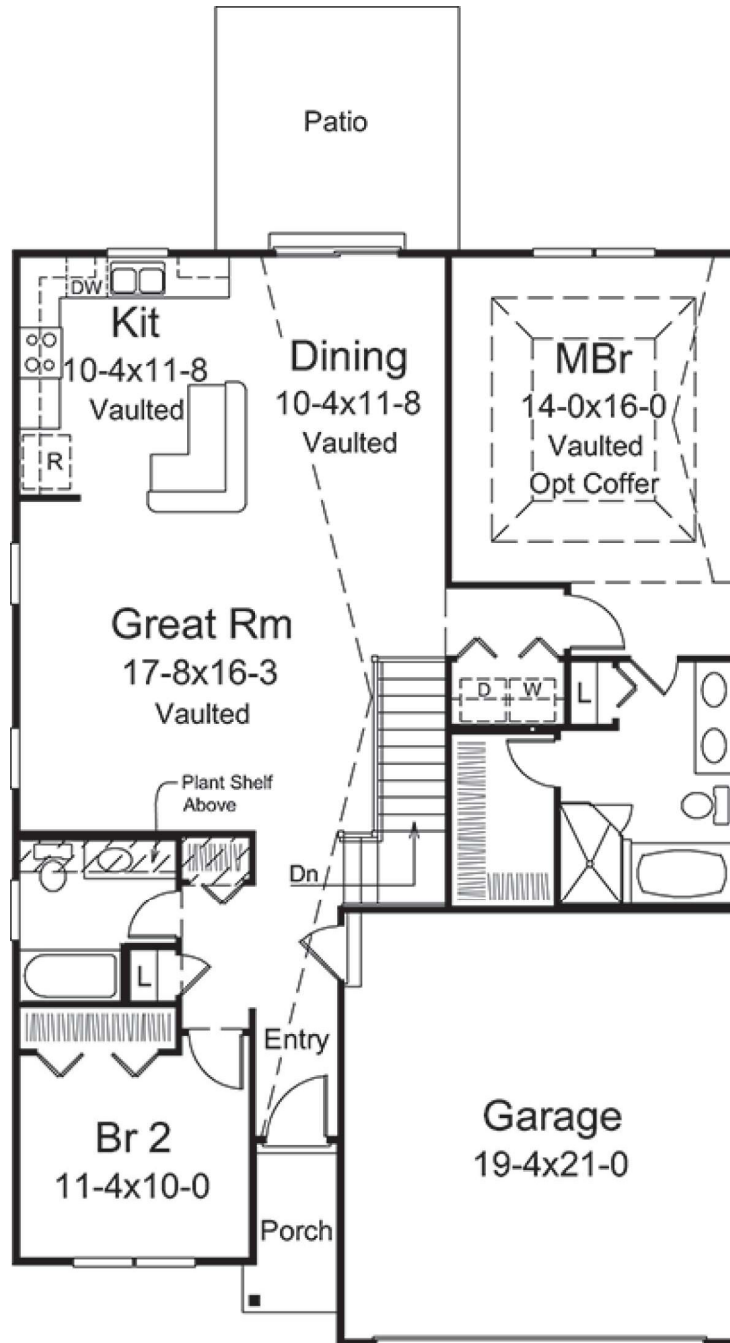
Each home will use a single on-site trash and recycle facility. Owners will need to take refuse to the on-site facility. The refuse will be collected by a privately contracted company on a frequency based on use.

Snow Removal

An agreement property and owners must be arranged to allow for removal of snow off the private drive and additional visitor parking stalls. Individual driveways and hardscape for individual homes will be maintained by property owners.

Residential Design Basis Imagery

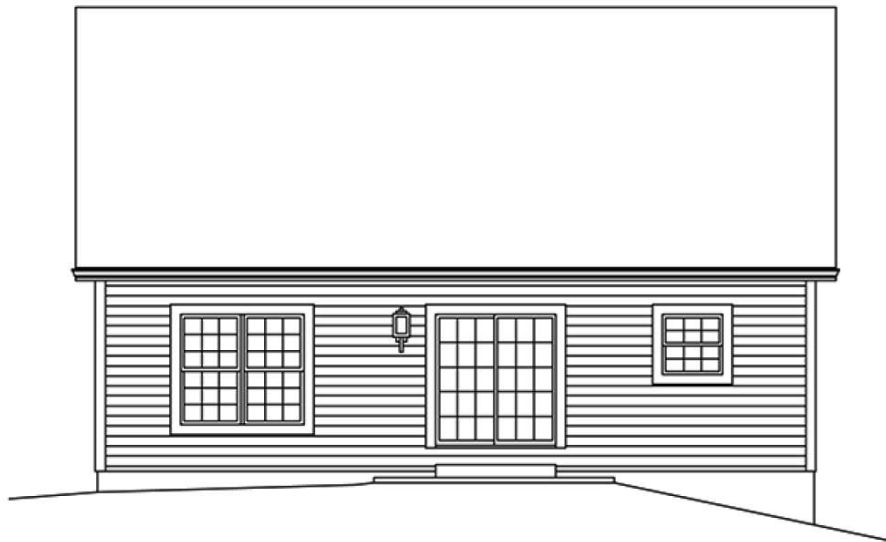
Craftsman Home



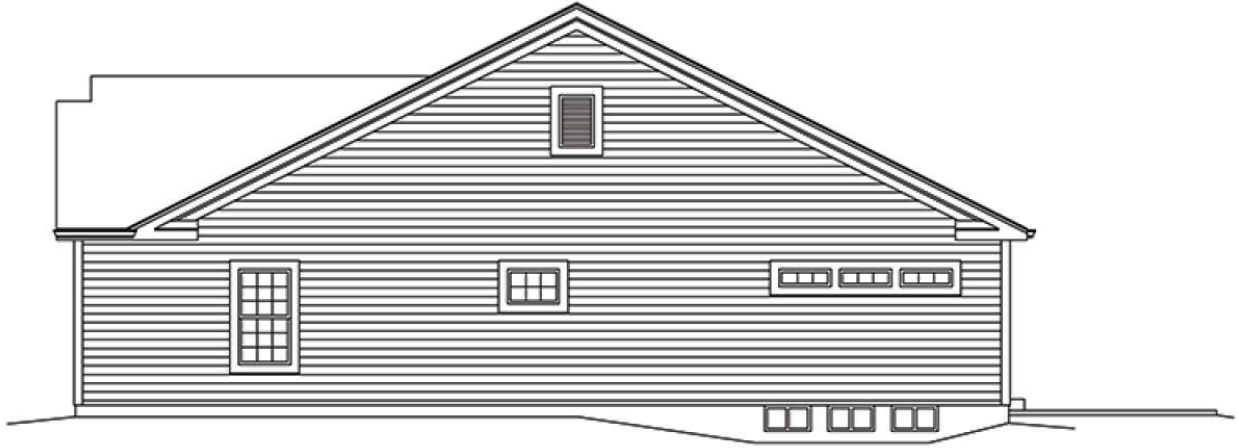
Floorplan



Front



Rear



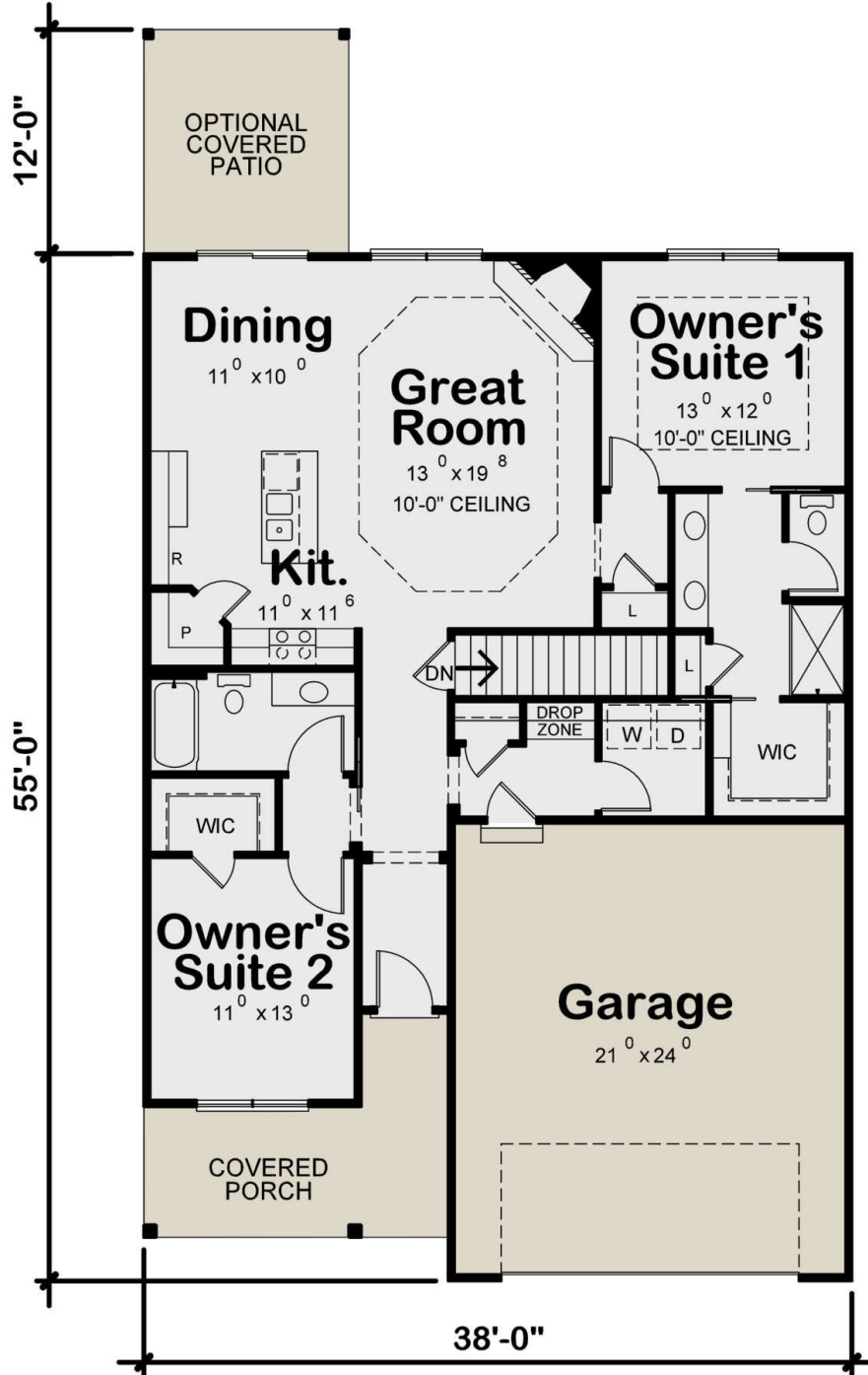
Side Right



Side Left

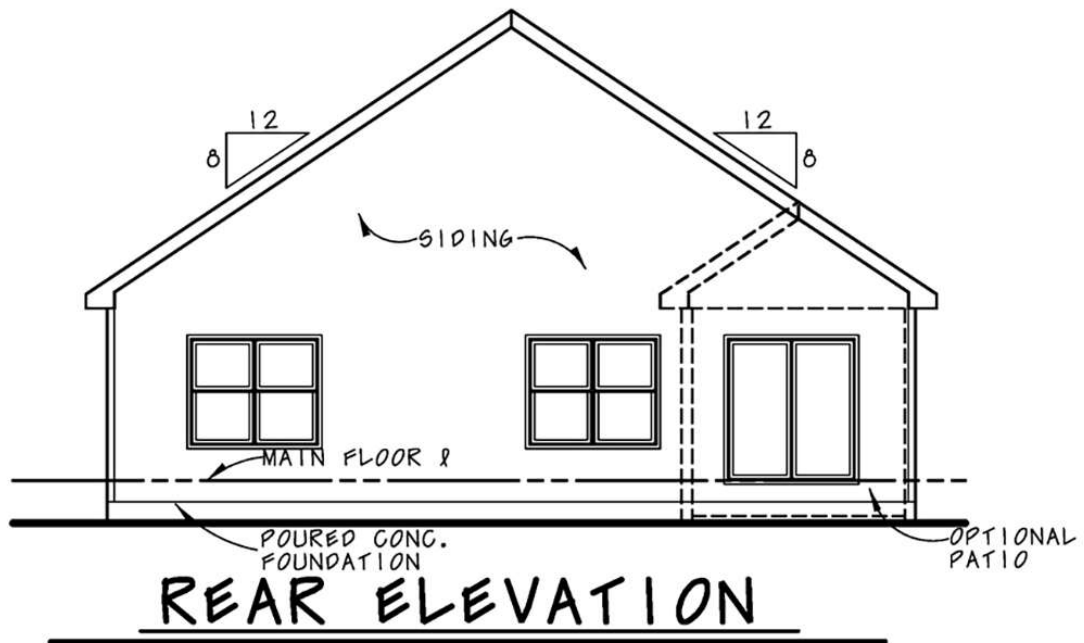
Residential Design Basis Imagery

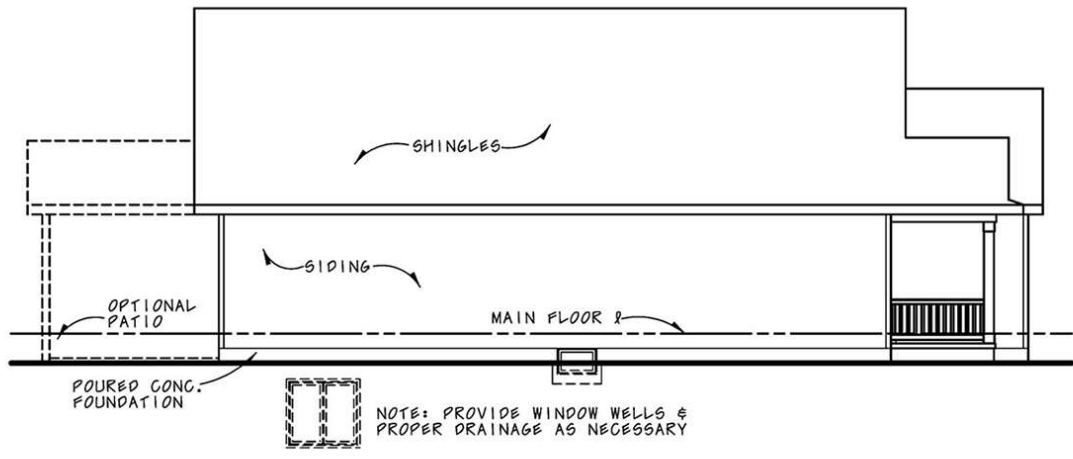
Modern Farmhouse Home



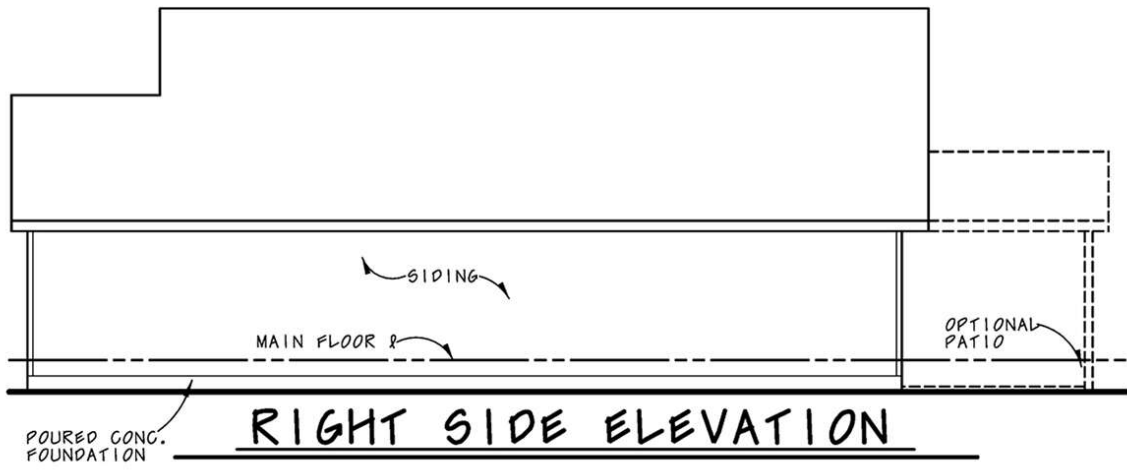


Front





LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

ORDINANCE NO. [REDACTED]

AN ORDINANCE
ESTABLISHING A CONDITIONAL USE PERMIT FOR CERTAIN LAND
LOCATED AT 4758 FOREST ROAD
AS A PLANNED DEVELOPMENT OVERLAY DISTRICT

THE VILLAGE BOARD OF THE VILLAGE OF HOBART DOES ORDAIN AS FOLLOWS:

SECTION 1. Pursuant to Sections 295-107 thru 295-117 (PDD), Hobart Municipal Code, together with the zoning map and statutory authority referred to therein, a Planned Unit Development District is hereby created on the following described property (see map attached hereto as Exhibit A):

That Part of Lot 6, Section 12, Village of Hobart, Brown County, Wisconsin in SE ¼ of Sec 12-T24NR19 E described in J3295-26 ex rd ex prt of Centennial Centre Blvd and N1/2 of vacated road described in 2877484.

SECTION 2. That pursuant to Sections 295-107 thru 295-117 (PDD) of the Hobart Municipal Code, as they apply, the following conditions are imposed:

A. Project Scope.

1. The development is designed to create a unique subdivision while offering the full development potential of the subject parcel. The developed portion of the parcel is concentrated on those areas most suitable for development and allows narrower than typical lot sizes with the objective of allowing the development to remain a single family residential. Through the use of the PDD, the Village expects to balance local economic growth with the preservation of environmental in an existing residential neighborhood.
2. The development, as depicted in Exhibit A, consists of the division of land for use as single-family home sites and storm water management. The division shall be made up of 5 lots designated for 5 detached single-family homes along with 1 outlot designated for storm water management.

B. Uses.

1. Permitted uses on the subject 5 lots, as depicted on Exhibit A, include a maximum of 5 single-family homes. The uses permitted on Outlot 1, include a storm water management pond.
2. Any and all other uses of the subject property, other than these uses permitted pursuant to the provisions of Sections 295-107 thru 295-117 (PDD) and 295-26 thru 295-37 (R-1: Residential District which remains the underlying zoning) or appurtenant thereto which are or may otherwise be permitted under the applicable provisions of the Zoning Ordinance of the Village of Hobart as now or hereafter amended, are hereby expressly prohibited and shall not be established and/or maintained without specific amendment to this ordinance made as required by law.

C. Lot Sizes. Lot sizes shall be regulated as depicted in Exhibit A, but in no case shall lots be less than 9,500 square feet in area, nor shall they have less than 53 feet of frontage at the right-of-way line. Outlot shall be regulated as depicted in Exhibit A.

D. Setbacks. Setbacks shall be regulated as set forth in Chapter 295 of the Hobart Municipal Code for the R-1: Residential District zoning district, except for the front setback (along Centennial Centre Blvd.), which may be reduced to 30 feet instead of the standard 40 feet and the side setback, which may be reduced to 7 feet instead of the standard 10 feet for a 1-story and 15 feet for a 2-story dwelling. However, in no case shall any two single family homes have less than 14 feet between such structures.

E. General Structure Details. The single-family homes, as depicted in Exhibit B, shall be in general conformity with the submitted floor plans and exterior elevations. The projected single-family homes shall not be less than 1,350 square feet of finished area and include a minimum of 2 bedroom and a 2 stall attached garage per dwelling.

F. Storm Water Management and Grading Plan. A stormwater management plan and grading plan, as depicted in Exhibit B, meeting the standards established by the Village's Department of Planning & Code Compliance and/or Public Works, Brown County, and the State of Wisconsin shall be submitted to and approved by the Village. Stormwater management features within this development and on Outlot 1 shall remain privately owned

and maintained by the owners of the lots within the development.

- G. Environmentally Sensitive Areas: Any and all environmentally sensitive areas and wetlands shall be clearly delineated to determine any potential impact on the development. The environmentally sensitive areas shall be confirmed with the Brown County Planning Commission.
- H. Access and Circulation. Access and circulation for automobile traffic shall be provided in substantial conformity as depicted on the attached Exhibit A. There shall be a minimum 24' wide cross access easement to include the construction of a minimum 22' wide private roadway to be owned and maintained by the property owners within the development. Such private roadway shall be hard surfaced and made of either asphalt or concrete and utilized for the traversing of both personal and emergency vehicles within this development. Parking shall be restricted to the areas of the driveway approach to each dwelling and prohibited along any portion of the private roadway.
- I. Restrictive Covenant / Home Owners Association. The developer shall establish a restrictive covenant or Home Owners Association (HOA) overlay to coordinate maintenance of amenities and properties as outlined within the HOA documents. Such document shall be recorded with Brown County and a copy of the recorded document shall be supplied to the Village with the Village being involved with any future modifications to the document as it relates to maintenance of amenities or issues directly addressed in this ordinance. The requirements established within the document shall be enforced by the developer and/or the property owners (association).

SECTION 3. The provisions of this ordinance, including, without limitation to all obligations, conditions, restrictions and limitations related thereto shall run with and be jointly and severally binding upon the fee simple owner and the beneficial owner of all or any portion of the subject property. All obligations, requirements, and rights of the owner shall run with the land and shall automatically be assigned to be binding upon and inure to the benefit of its successors and assigns, including, but not limited to, any entity acquiring any financial interest in the subject property and/or any subsequent owner and/or beneficial owner of all or any portion of the subject property.

SECTION 4. Each exhibit which is attached to this ordinance is deemed to be and is expressly made a part of and incorporated into this ordinance to the same extent as if each such exhibit, and the plans identified therein, had been set forth in its entirety in the body

of this ordinance.

SECTION 5. All ordinances or parts of ordinances, in conflict herewith are hereby repealed.

SECTION 6. In addition to all other remedies available to the Village of Hobart, the Village may decline to issue any building or other permits otherwise required by any ordinance of this Village while any violation of this ordinance remains uncured.

SECTION 7. If any provision in this ordinance is held invalid or unconstitutional by any court of competent jurisdiction, such a decision shall not affect the validity of any other provision of this ordinance. It is hereby declared to be the intention of the Village of Hobart that all provisions of this ordinance are separable.

SECTION 8. This ordinance shall take effect upon its adoption and publication. If construction has not begun or no use established in the PDD or one of its stages within 12 months of the publication of this ordinance, the final development plan lapses and the PUD overlay zoning automatically is void and rescinded and shall file notice of revocation with the recorded final development plan.

Approved and adopted this ____ day of ____, 2023.

Richard Heidel, Village President

ATTEST:

Date of Publication:

, Village Clerk-Treasurer

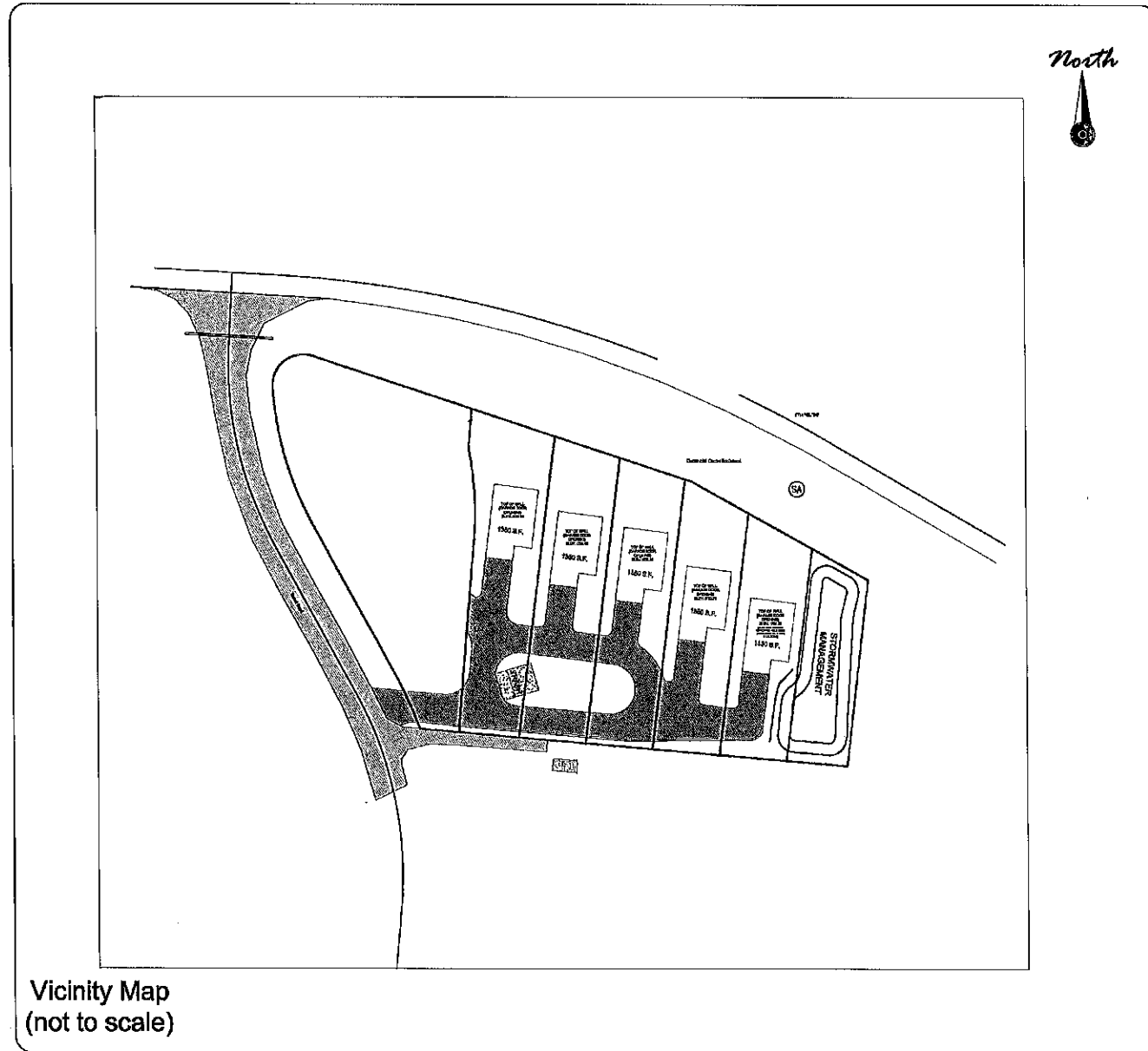
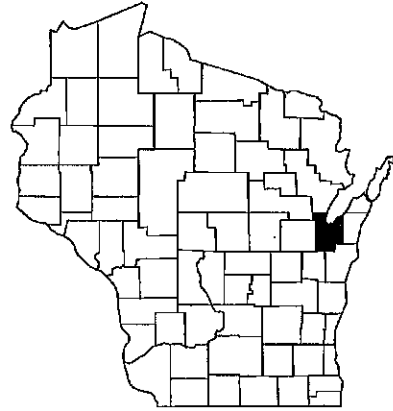
Attachment

Exhibit B

KES EXCAVATING SERVICES

FOREST ROAD RESIDENTIAL

VILLAGE OF HOBART



PROJECT INFORMATION

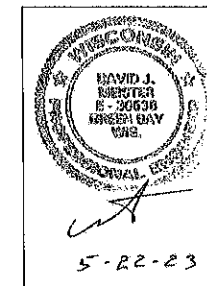
OWNER(S): KES EXCAVATING SERVICES
PROJECT NAME: FOREST ROAD RESIDENTIAL
PROJECT DESCRIPTION: 6 SINGLE FAMILY RESIDENTIAL UNITS AND STORMWATER MANAGEMENT, (WITH THE POSSIBILITY OF FUTURE BUILDING)
PROJECT LOCATION: 4758 FOREST ROAD
PARCEL NUMBER(S): HB-550-3

CONTACT INFORMATION

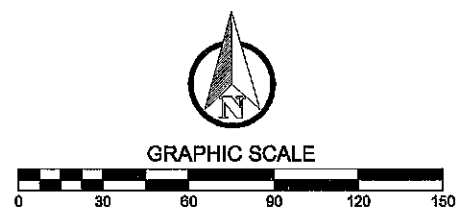
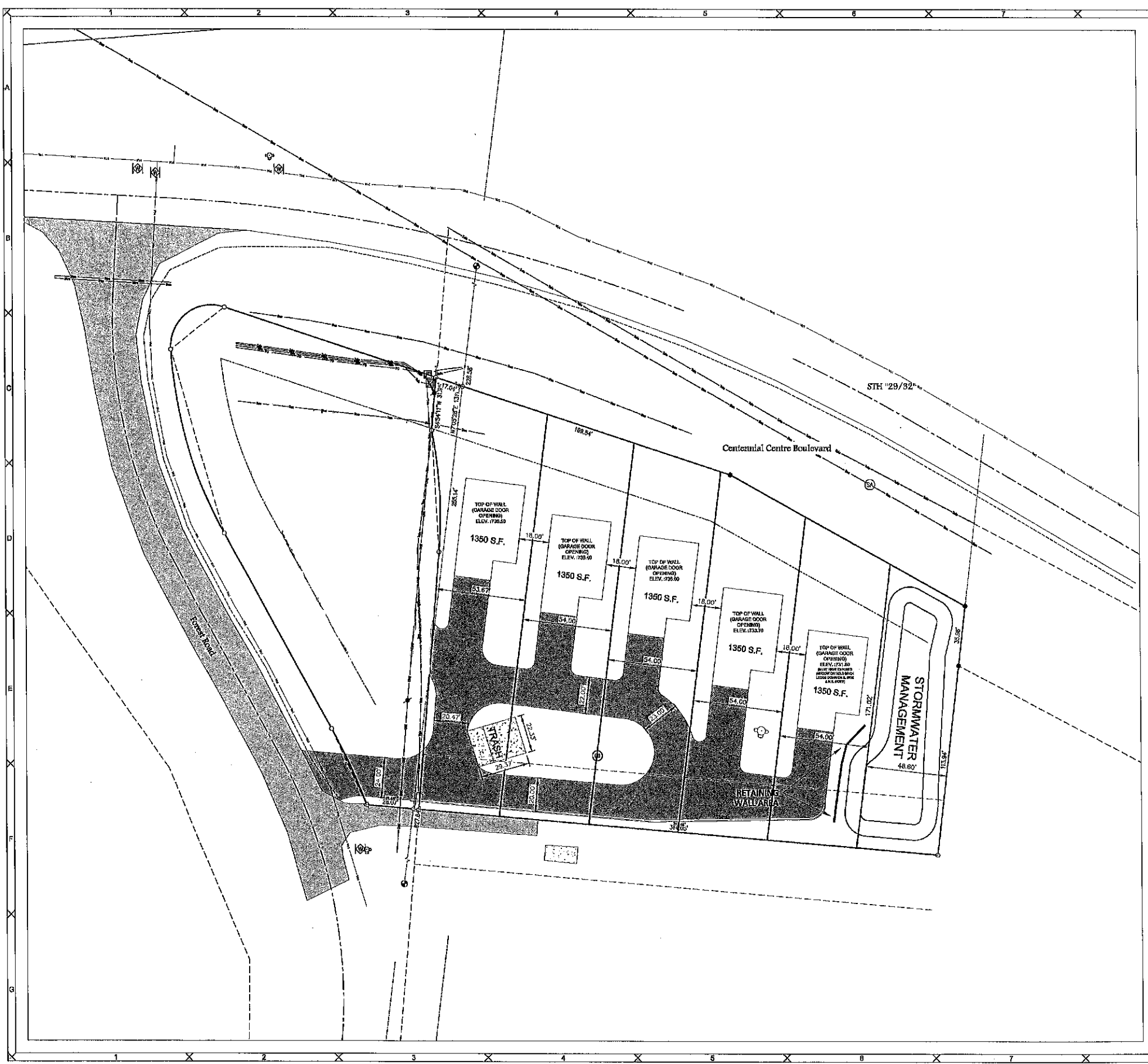
OWNER(S): KES EXCAVATING SERVICES ATTN.: KYLE STANKEVITZ 1262 CAMBER CT. HOBART, WI 54115
ENGINEER: MAU & ASSOCIATES, LLP CONTACT: DAVID J. MEISTER, P.E. PH.: 920-434-9670 400 SECURITY BLVD. GREEN BAY, WI 54313

- SHEET INDEX:**
- C1.0 TITLE SHEET
 - C2.0 SITE LAYOUT PLAN
 - C3.0 EROSION CONTROL PLAN
 - C4.0 GRADING PLAN
 - C5.0 SITE UTILITY PLAN
 - C6.0 BIO-FILTER DETAILS
 - C7.0 NOTES & DETAILS
 - C8.0 EXISTING WATERSHED
 - C9.0 PROPOSED WATERSHED
 - 1 of 1 SITE SURVEY

Mau & Associates
 LAND SURVEYING & PLANNING
 CIVIL & WATER RESOURCE ENGINEERING
 Phone: 920-434-9670 Fax: 920-434-9672



DATE: 05-22-23
PROJECT NO. K-22220
SHEET NO. C1.0
DRAWING NO. S-3737



DESIGNED BY	DJM
DATA FILE	.d4
DATE	05-22-23
Number	
Date	
Comments	

Mau & Associates
 LAND SURVEYING & PLANNING
 CIVIL & WATER RESOURCE ENGINEERING
 Phone: 920-434-9670 Fax: 920-434-9672

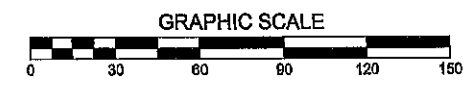
KES EXCAVATING SERVICES
 SITE LAYOUT

PROJECT NO.
K-22220
 SHEET NO.
C2.0
 DRAWING NO.
S-3737

FILE: K-22220.dwg 05/23/23



NOTE: CONTOURS AROUND THE NORTH AND SIDE OF THE BUILDING ARE NOT SHOWN EXACT AT THIS TIME. MAY ON THOSE AREAS WILL HAVE EXPOSED WINDOWS AND THE ACTUAL HEIGHT AND LOCATIONS OF THOSE WINDOW ARE NOT YET KNOW BY THE DEVELOPER.

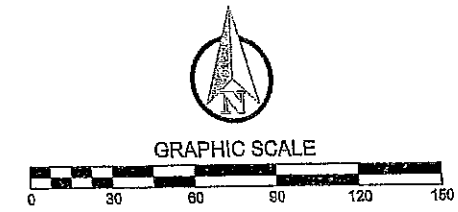


DESIGNED BY	DJM
DATA FILE	.dwt
DATE	05-22-23
Number	
Date	
Comments	

Mau & Associates
 LAND SURVEYING & PLANNING
 CIVIL & WATER RESOURCE ENGINEERING
 Phone: 920-434-9670 Fax: 920-434-9672

KES EXCAVATING SERVICES
 GRADING PLAN

PROJECT NO.
K-22220
 SHEET NO.
C4.0
 DRAWING NO.
S-3737



DESIGNED BY	DJM
DATA FILE	.b4
DATE	05-22-23
Number	
Date	
Comments	

Mau & Associates
 LAND SURVEYING & PLANNING
 CIVIL & WATER RESOURCE ENGINEERING
 Phone: 920-434-9670 Fax: 920-434-9672

KES EXCAVATING SERVICES
 SITE UTILITIES

UTILITY & LATERAL NOTES:
 • ALL SANITARY LATERALS TO THE BUILDING SHALL 1/8"FT. SLOPE MINIMUM AND BE STUB UNDER THE FOUNDATION TO 3'-4" INSIDE THE BUILDING. VERIFY EXACT LOCATION WITH OWNER AND GENERAL CONTRACTOR.
 • ALL SANITARY LATERALS TO HAVE CLEANOUT AT LEAST EVERY 100'. PLACE CLEANOUT IN GREEN AREAS WHEN EVER POSSIBLE. ALSO CLEANOUTS MUST BE PLACED WITHIN 5' OF THE FOUNDATION WALL, INTERIOR OR EXTERIOR.
 • VERIFY EXACT WATER SERVICE LATERAL LOCATIONS WITH THE OWNER AND GENERAL CONTRACTOR.
 • NOTE: PER STORMWATER MANAGEMENT PLAN, ALL ROOF WATER MUST BE ROUTED TO THE STORMWATER MANAGEMENT POND. EXACT LOCATIONS OF BUILDING DOWN SPOUT TO BE FIELD VERIFIED WITH THE OWNER AND GENERAL CONTRACTOR.

CATCH BASINS	AREA	ROOFTOP (SF)	PAVEMENT (SF)	GREEN SPACE (SF)	FLOW (GPM)	COMBINED FLOW (GPM)	CAPACITY (GPM)	PIPE SIZE@SLOPE	CB#
1	14,063	3,330	3,851	6,877	313	646	1,136 @ 2.82%	1	
2	10,356	4,800	4,477	1,119	333	333	895 @ 1.74%	2	

PROJECT NO.
K-22220
 SHEET NO.
C5.0
 DRAWING NO.
S-3737

TECHNICAL STANDARD 1004.V.B.&D.(2)
6. ENGINEERED SOIL PLANTING BED
4. ENGINEERED SOIL COMPOSITION- THE SOIL SHALL BE ENGINEERED TO THE FOLLOWING SPECIFICATIONS:
 (2) THE SAND SHALL MEET ONE OF THE FOLLOWING GRADATION REQUIREMENTS:
 USDA Coarse SAND (0.2-04 INCHES)
 ASTM C33 (FINE AGGREGATE CONCRETE SAND)
 WISCONSIN STANDARDS AND SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, SECTION 501.2.3.3.4 (FINE AGGREGATE CONCRETE SAND) 2006 EDITION, OR AN EQUIVALENT AS APPROVED BY THE ADMINISTERING AUTHORITY.
 THE PREFERRED SAND COMPONENT CONSISTS OF MOSTLY S.S., BUT SAND CONSISTING OF TELLURITE OR CALCIUM CARBONATE MAY ALSO BE USED. MANUFACTURED SAND OR STORE DUST IS NOT ALLOWED. THE SAND SHALL BE WASHED AND DRAINED TO REMOVE CLAY AND SILT PARTICLES PRIOR TO MIXING.
TECHNICAL STANDARD 1004.V.B.&D.(3)
 (3) THE COMPOST COMPONENT SHALL MEET THE REQUIREMENTS OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES SPECIFICATION S100, COMPOST.

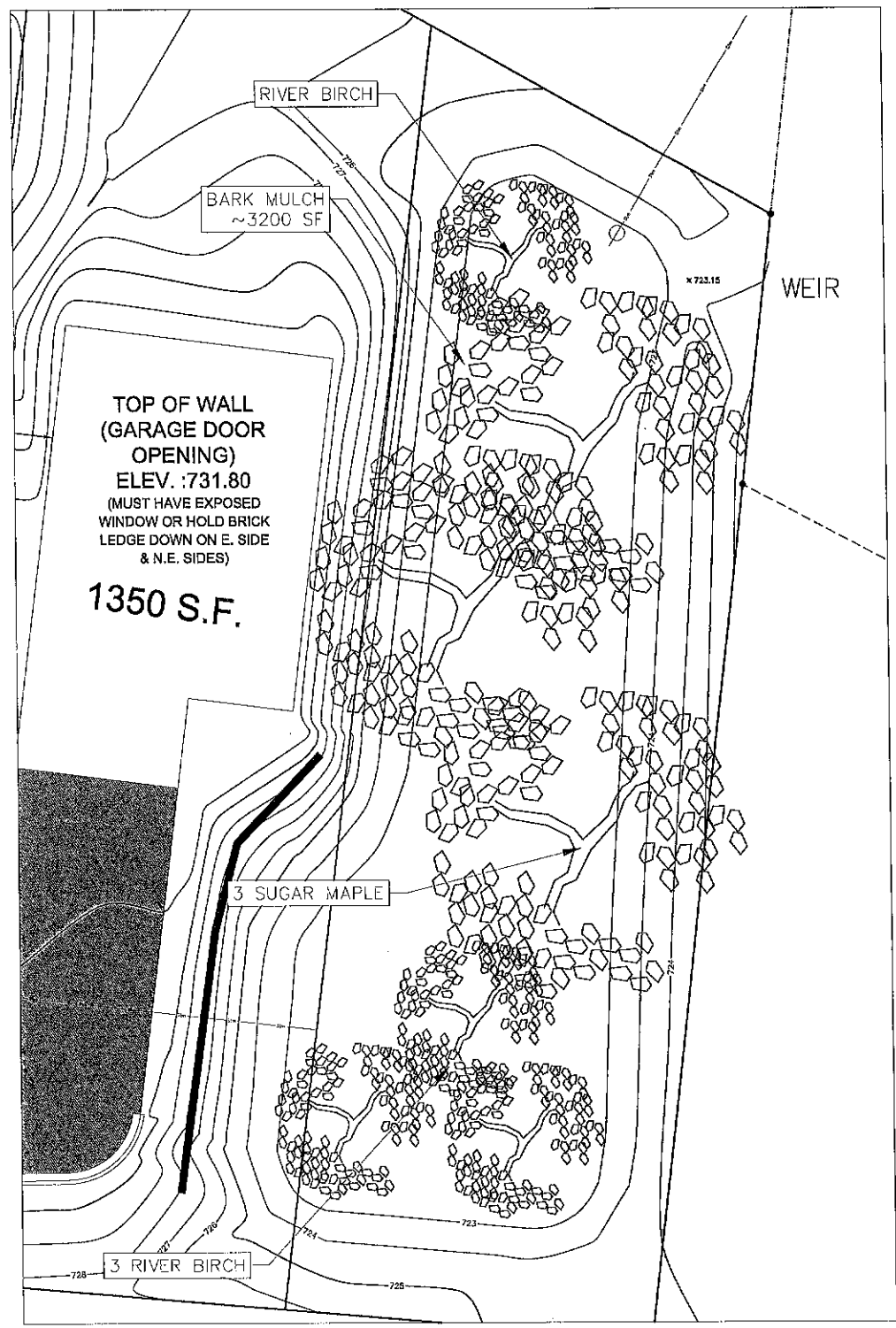
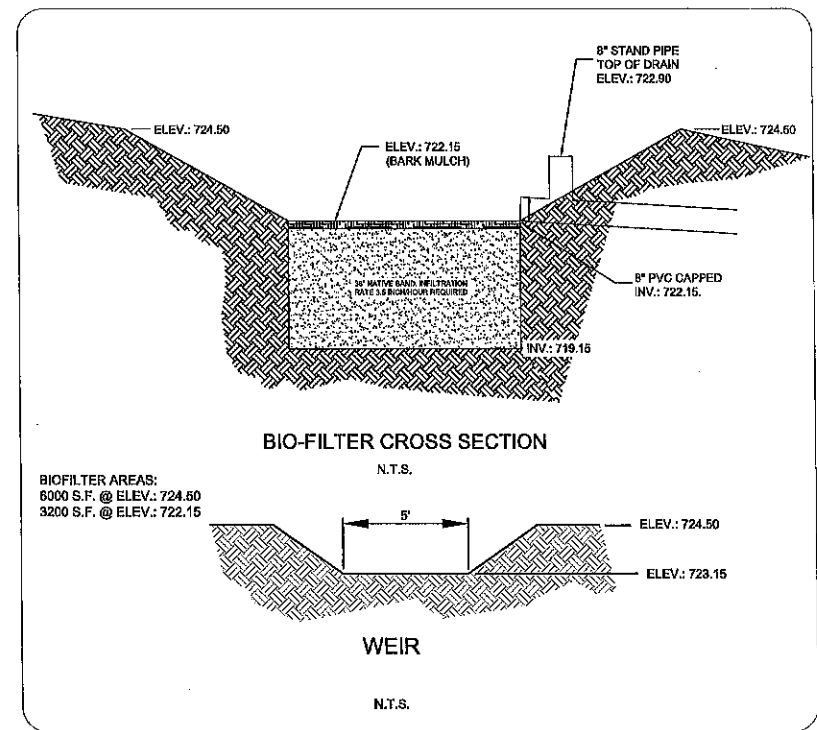
WISCONSIN DEPARTMENT OF NATURAL RESOURCES SPECIFICATION S100 COMPOST (10/04)

- SCOPE**
 COMPOST IS A MIXTURE THAT CONSISTS LARGELY OF AEROBICALLY DECAYED ORGANIC WASTE. THIS SPECIFICATION OUTLINES THE MINIMUM MATERIAL REQUIREMENTS FOR COMPOST INTENDED TO BE USED IN ACCORDANCE WITH THE CRITERIA OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) STORMWATER MANAGEMENT TECHNICAL STANDARDS. COMPOST MEETING THIS SPECIFICATION IS APPROPRIATE TO USE FOR COMPACTION MITIGATION AND AS THE COMPONENT OF AN ENGINEERED SOIL MIXTURE. MATERIAL REQUIREMENTS. THE FOLLOWING MATERIAL REQUIREMENT SHALL BE MET:
 A. PARTICLE SIZE 98% OF THE COMPOST SHALL PASS THROUGH A 0.75-INCH SCREEN.
 B. PHYSICAL CONTAMINANTS- LESS THAN 1% COMBINED GLASS, METAL AND PLASTIC.
 C. ORGANIC MATTER/ASH CONTENT- AT LEAST 40% ORGANIC MATTER, LESS THAN 60% ASH CONTENT.
 D. CARBON TO NITROGEN RATIO-10-20:1 C:N RATIO.
 E. PH- BETWEEN 6 AND 8.
 F. SOLUBLE SALTS- ELECTRICAL CONDUCTIVITY BELOW 1000 $\mu\text{mhos cm}^{-1}$.
 G. MOISTURE CONTENT- BETWEEN 35% AND 50% BY WEIGHT.
 H. MATURITY- THE COMPOST SHALL BE RESISTANT TO FURTHER DECOMPOSITION AND FREE OF COMPOUNDS, SUCH AS AMMONIA AND ORGANIC ACIDS, IN CONCENTRATIONS TOXIC TO PLANT GROWTH.
 I. RESIDUAL SEEDS & PATHOGENS- PATHOGENS AND NOXIOUS SEEDS SHALL BE MINIMIZED.
 J. PATHOGENS- THE COMPOST SHALL MEET THE CLASS A REQUIREMENTS FOR PATHOGENS AS SPECIFIED IN S. NR 204.07(9)(A), WIS. ADM. CODE.
 K. OTHER CHEMICAL CONTAMINANTS- THE COMPOST SHALL MEET THE HIGH QUALITY POLLUTANT CONCENTRATIONS AS SPECIFIED IN S. NR 204.07(9)(C), WIS. ADM. CODE.
- REFERENCES**
 FURTHER INFORMATION REGARDING COMPOST MAY BE OBTAINED FROM THE US COMPOST COUNCIL WEBSITE: WWW.COMPOSTCOUNCIL.ORG
 BREWER, L.J AND D.M. SULLIVAN 2003. MATURITY AND STABILITY OF COMPOSTED YARD TRIMMINGS. COMPOST SCIENCE AND UTILIZATION SPRING, 2003. PP 66-112.
 COOPERBAND, LESLIE. 2002. THE ART AND SCIENCE OF COMPOSTING. UNIVERSITY OF WISCONSIN-MADISON CENTER FOR INTEGRATED AGRICULTURAL SYSTEMS. 14 PP.
 UNITED STATES ENVIRONMENTAL PROTECTION AGENCY. 1997. INNOVATIVE USES OF COMPOST: BIOREMEDIATION AND POLLUTION PREVENTION. EPA/600-R-97-042. 6 PP.
 WOODS END RESEARCH LABORATORY. 1999. GUIDE TO SOLVITA™ TESTING FOR COMPOST MATURITY INDEX [ONLINE]. AVAILABLE AT HTTP://WWW.WOODSEND.ORG.
 CONSERVATION PRACTICE STANDARDS ARE REVIEWED PERIODICALLY AND UPDATED IF NEEDED. TO OBTAIN THE CURRENT VERSION OF THIS STANDARD, CONTACT YOUR LOCAL DNR OFFICE OR THE STANDARDS OVERSIGHT COUNCIL OFFICE IN MADISON, WI AT (608) 833-1833.
 WORDS IN THE STANDARD THAT ARE SHOWN IN ITALICS ARE DESCRIBED IN X. DEFINITIONS. THE WORDS ARE ITALICIZED THE FIRST TIME THEY ARE USED IN THE TEXT.

BIORETENTION FOR INFILTRATION (1004)
V.B.12. CONSTRUCTION SEQUENCING AND OVERSIGHT- A PERSON TRAINED AND EXPERIENCED IN THE CONSTRUCTION, OPERATION AND MAINTENANCE OF INFILTRATION DEVICES SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE DEVICE. THE FOLLOWING APPLY:

- CONSTRUCTION SITE STABILIZATION- CONSTRUCTION SITE RUNOFF FROM THE DISTURBED AREAS SHALL NOT BE ALLOWED TO ENTER THE BIORETENTION DEVICE. RUNOFF FROM PERVIOUS AREAS SHALL BE DIVERTED FROM THE DEVICE UNTIL THE PERVIOUS AREAS HAVE UNDERGONE FINAL STABILIZATION.**
- SUITABLE WEATHER- CONSTRUCTION SHALL BE SUSPENDED DURING PERIODS OF RAINFALL OR SNOWMELT. CONSTRUCTION SHALL REMAIN SUSPENDED IF PONDING WATER IS PRESENT OR IF RESIDUAL SOIL MOISTURE CONTRIBUTES SIGNIFICANTLY TO THE POTENTIAL FOR SOIL SMEARING, CLUMPING OR OTHER FORMS OF COMPACTION.**
- COMPACTION AVOIDANCE- COMPACTION AND SMEARING OF THE SOIL BENEATH THE FLOOR AND SIDE SLOPS OF THE BIORETENTION AREA, AND COMPACTION OF THE SOILS USED FOR BACKFILLING IN THE SOIL PLANTING BED, SHALL BE MINIMIZED. DURING SITE DEVELOPMENT, THE AREA DEDICATED TO THE BIORETENTION DEVICE SHALL BE CORDONED OFF TO PREVENT ACCESS BY HEAVY EQUIPMENT. ACCEPTABLE EQUIPMENT FOR CONSTRUCTING THE BIORETENTION DEVICE INCLUDES EXCAVATION HOES, LIGHT EQUIPMENT WITH TIRE-TYPE TIRES, MARSH**
- COMPACTION REMEDIATION- IF COMPACTION OCCURS AT THE BASE OF THE BIORETENTION DEVICE, THE SOIL SHALL BE REFRRACTURED TO A DEPTH OF AT LEAST 12 INCHES. IF SMEARING OCCURS, THE SMEARED AREA OF THE INTERFACE SHALL BE CORRECTED BY RAKING OR ROTO-TILLING.**
- PLACEMENT AND SETTLING OF ENGINEERED SOILS- THE FOLLOWING APPLY:**
 - PRIOR TO PLACEMENT IN THE BIORETENTION DEVICE, THE ENGINEERED SOILS SHALL BE PRE-MIXED AND THE MOISTURE CONTENT SHALL BE LOW ENOUGH TO PREVENT CLUMPING AND COMPACTION DURING PLACEMENT.**
 - THE ENGINEERED SOIL SHALL BE PLACED IN MULTIPLE LIFTS, EACH APPROXIMATELY 12 INCHES IN DEPTH.**
 - STEPS MAY BE TAKEN TO INDUCE MILD SETTLING OF THE ENGINEERED SOIL BED AS NEEDED TO PREPARE A STABLE PLANTING MEDIUM AND TO STABILIZE THE PONDING DEPTH. VIBRATING PLATE-STYLE COMPACTORS SHALL NOT BE USED TO INDUCE SETTLING.**
- PLANTING- THE ENTIRE SOIL PLANTING BED SHALL BE MULCHED PRIOR TO PLANTING VEGETATION TO HELP PREVENT COMPACTION OF THE PLANTING SOIL DURING THE PLANTING PROCESS. MULCH SHALL BE PUSHED ASIDE FOR THE PLACEMENT OF EACH PLANT.**

CONSTRUCTION SEQUENCING AND OVERSIGHT FOR CONSTRUCTION OF THE BIO-FILTER FOLLOW DNR TECHNICAL STANDARD 1004, SECTION V, C.



BIO-FILTER PLANTINGS
 SCALE: 1"=10'

DESIGNED BY
 DJM
 DATA FILE
 .td
 DATE
 09-22-23

Number	Date	Comments

Mau & Associates
 LAND SURVEYING & PLANNING
 CIVIL & WATER RESOURCE ENGINEERING
 Phone: 920-434-9670 Fax: 920-434-9672

KES EXCAVATING SERVICES
BIO-FILTER NOTES & DETAILS

PROJECT NO.
 K-22220
 SHEET NO.
C6.0
 DRAWING NO.
S-3737

CONSTRUCTION SITE EROSION CONTROL

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS AND IF NO STANDARD EXISTS THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (CURRENT EDITION) SHALL BE REFERENCED. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO DISTURBING THE SITE. CONTRACTORS SHALL MINIMIZE THE DURATION AND SIZE OF DISTURBED AREAS TO THE MAXIMUM EXTENT PRACTICABLE. EROSION AND SEDIMENT CONTROL PRACTICES PROPOSED FOR THIS PROJECT ARE DESCRIBED AS FOLLOWS:

- SEDIMENT TRACKING FROM CONSTRUCTION SITE:**
- **STONE TRACKING PAD(S) - TECHNICAL STANDARD 1057**
STONE TRACKING PADS WILL BE INSTALLED AT ENTRANCES SHOWN ON THE SITE. TRACKING PADS SHALL BE IN PLACE PRIOR TO LAND DISTURBING ACTIVITIES.
WASH WATER FROM VEHICLE AND WHEEL WASHING SHALL BE TREATED BEFORE ENTERING WATERS OF THE STATE.
 - **STREET SWEEPING/CLEANING**
SEDIMENT TRACKED FROM THE CONSTRUCTION SITE SHALL BE CLEANED UP AT THE END OF EACH WORK DAY UNLESS THE SEDIMENT PRESENTS A HAZARD. SEDIMENT PRESENTING A HAZARD MUST BE CLEANED UP IMMEDIATELY.
- SEDIMENT CARRIED OFF-SITE BY OVERLAND FLOW OR RUNOFF:**
- **SILT FENCE - TECHNICAL STANDARD 1056**
SILT FENCE WILL BE INSTALLED DOWN-SLOPE OF ALL DISTURBED AREAS OF THE SITE. THE FENCE SHALL BE INSTALLED ALONG THE CONTOURS AND BE IN-PLACE PRIOR TO LAND DISTURBING ACTIVITIES.
 - **SEEDING - TECHNICAL STANDARD 1059; MULCHING - TECHNICAL STANDARD 1058**
DISTURBED AREAS OF THE SITE SHALL BE SEEDED AND MULCHED AS SOON AS THEY ARE BROUGHT TO FINISHED GRADE. IN ADDITION, ANY STOCK PILES IN PLACE FOR 7 DAYS OR MORE SHALL BE SEEDED AND MULCHED.
 - **NON-CHANNEL EROSION MAT - TECHNICAL STANDARD 1062**
EROSION CONTROL MAT SHALL BE PLACED AS SHOWN ON THE PLANS, AND/OR AS DETERMINED IN THE FIELD, TO PROTECT THE DISTURBED SLOPES FROM EROSION. NON-CHANNEL EROSION MAT SHALL BE INSTALLED AS SOON AS THE SLOPE HAS BEEN BROUGHT TO FINISHED GRADE.
 - **CONSTRUCTION SITE DIVERSION - TECHNICAL STANDARD 1066**
WHERE POSSIBLE, THE SITE WILL BE GRADED SUCH THE RUNOFF FROM UNDISTURBED AREAS IS ROUTED AROUND DISTURBED AREAS OF THE SITE.
- SEDIMENT CARRIED OFF-SITE BY DEWATERING OPERATIONS:**
- **DEWATERING - TECHNICAL STANDARD 1061**
DEWATERING IS NOT ANTICIPATED FOR THIS PROJECT. IF IT IS REQUIRED, DEWATERING SHALL BE IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD. ANY NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO DEWATERING OPERATIONS TAKE PLACE.
- SEDIMENT ENTERING STORM DRAIN INLETS:**
- **STORM DRAIN INLET PROTECTION - TECHNICAL STANDARD 1060**
ALL INLETS, PROPOSED AND EXISTING, ACCEPTING RUNOFF FROM DISTURBED AREAS OF THE SITE SHALL HAVE INLET PROTECTION INSTALLED PRIOR TO LAND DISTURBING ACTIVITY WITHIN THE AREA DISCHARGING TO THE INLET.
- SEDIMENT BEING CARRIED OFF-SITE BY WIND:**
- **DUST CONTROL - TECHNICAL STANDARD 1068**
WHEN REQUIRED, DUST CONTROL MEASURES SHALL BE EMPLOYED TO PREVENT DUST FROM BLOWING OFF-SITE.
- CONCRETE WASHOUT**
- **CONCRETE WASHOUT SHALL BE COLLECTED AND RETAINED, BOTH WATER AND CONCRETE, IN LEAK PROOF CONTAINERS. WASHOUT CAN BE RECYCLED OR REUSED. SEE <http://water.spa.gov/polwaste/npdes/swbmp/upload/concretewashout.pdf> FOR DETAILS.**

INSPECTION AND MAINTENANCE

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS UNTIL THE CONSTRUCTION SITE IS PERMANENTLY STABILIZED WITH A DENSE GRASS COVER. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS WEEKLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS FOR STRUCTURAL DAMAGE, SEDIMENT ACCUMULATION, OR ANY OTHER UNDESIRABLE CONDITION. THE CONTRACTOR SHALL REPAIR DAMAGED STRUCTURES PRIOR TO THE END OF EACH WORKING DAY. SEDIMENT SHALL BE REMOVED FROM THE STRUCTURE WHEN THE DEPTH OF SEDIMENT HAS ACCUMULATED TO ONE HALF THE HEIGHT OF THE DEVICE OR AS REQUIRED BY THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD (CURRENT EDITION).

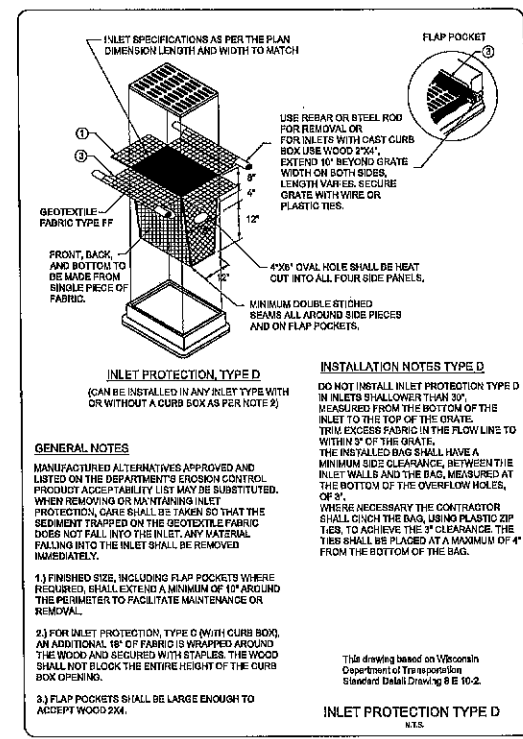
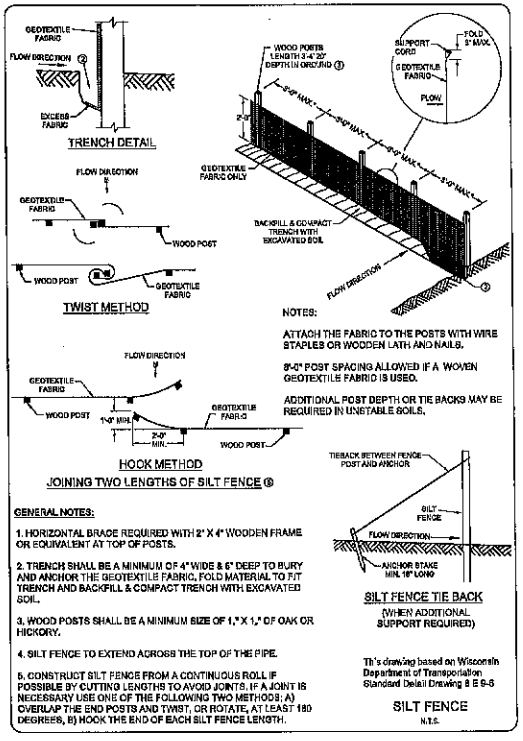
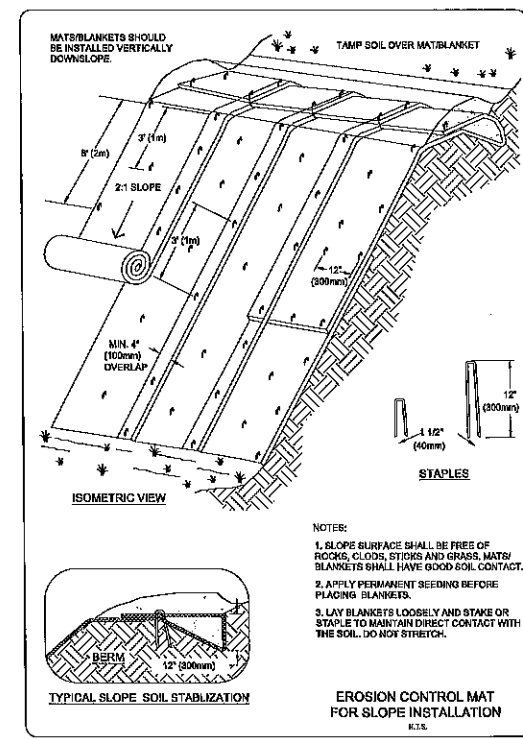
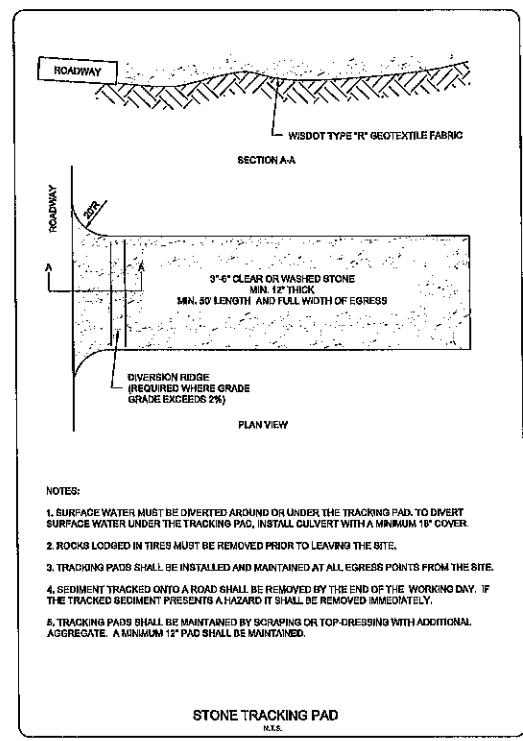
THE CONTRACTOR SHALL SUMMARIZE WEEKLY INSPECTION AND MAINTENANCE ACTIVITIES ON A WEEKLY INSPECTION REPORT THAT IS AVAILABLE THROUGH THE WDNR.

THE WEEKLY INSPECTION REPORT SHALL INCLUDE THE FOLLOWING MINIMUM INFORMATION:

- NAME OF INDIVIDUAL PERFORMING INSPECTION;
- DATE, TIME, AND PLACE OF INSPECTION;
- A DESCRIPTION OF THE CONSTRUCTION PHASE;
- A DESCRIPTION OF EROSION AND SEDIMENT CONTROL INSTALLATIONS;
- A DESCRIPTION OF EROSION AND SEDIMENT CONTROL MAINTENANCE ACTIVITIES;
- AND AN ASSESSMENT OF EROSION AND SEDIMENT CONTROL CONDITIONS.

THE CONTRACTOR SHALL PROMPTLY FURNISH THE ORIGINAL WEEKLY INSPECTION REPORTS TO THE OWNER, OWNER'S REPRESENTATIVE, OR WISCONSIN DEPARTMENT OF NATURAL RESOURCES WHEN REQUESTED. THE CONTRACTOR SHALL KEEP A COPY OF THE APPROVED EROSION & SEDIMENT CONTROL PLAN, PERMITS, AND WEEKLY INSPECTION REPORTS ON-SITE AT ALL TIMES.

ALL WASTE FROM THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT BE ALLOWED TO ENTER THE STORM SEWER SYSTEM, DRAINAGE SYSTEM, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS LOCATED WITHIN OR NEAR THE CONSTRUCTION SITE, INCLUDING THE FOX RIVER.



DESIGNED BY
DJM

DATA FILE
.dwt

DATE
05-22-23

Number	Date	Comments

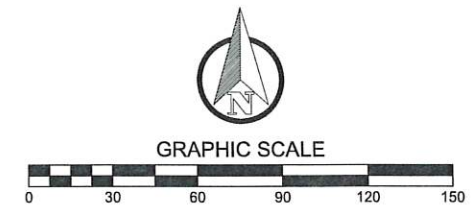
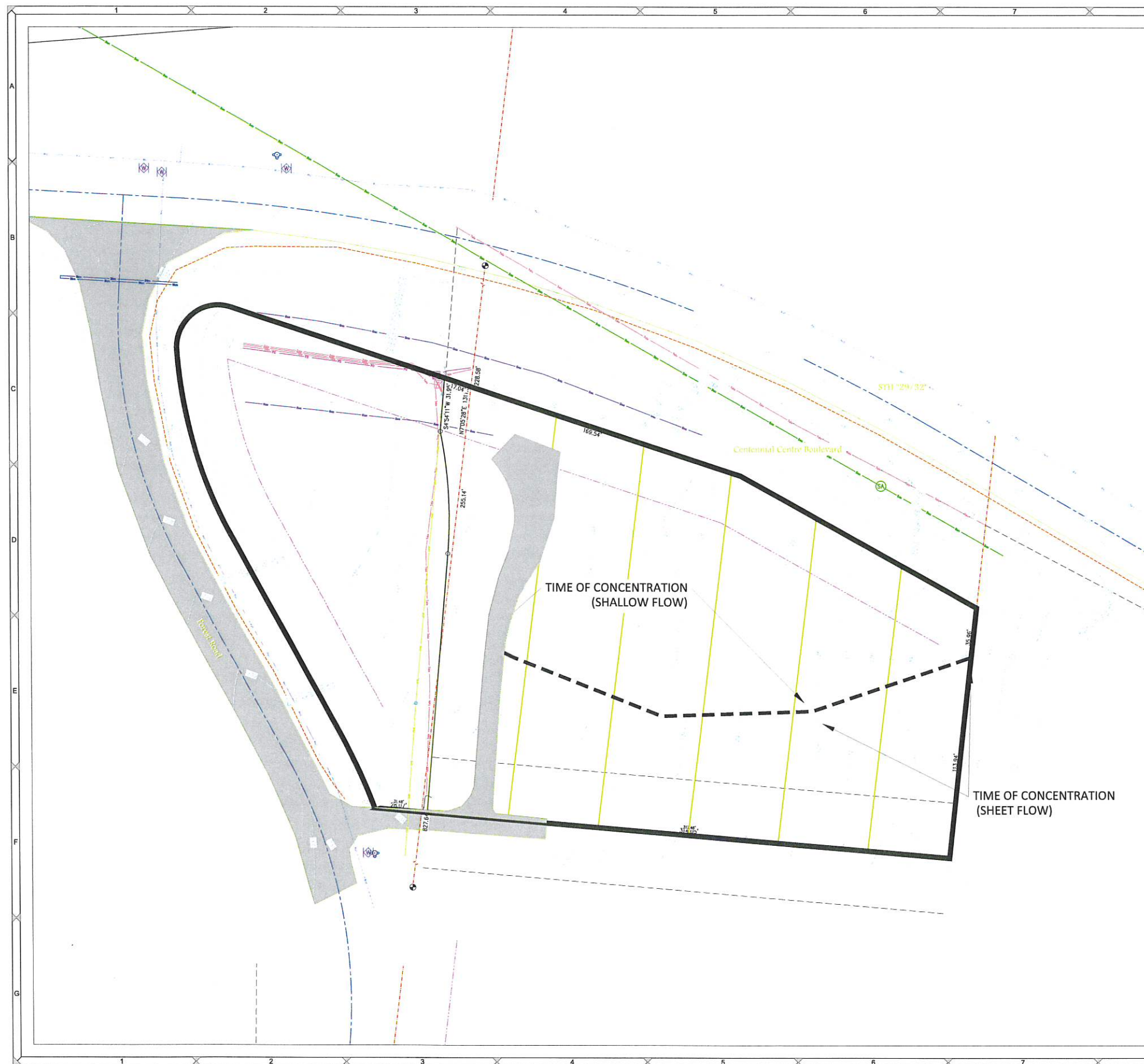
Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

KES EXCAVATING SERVICES
NOTES & DETAILS

PROJECT NO.
K-22220

SHEET NO.
C7.0

DRAWING NO.
S-3737

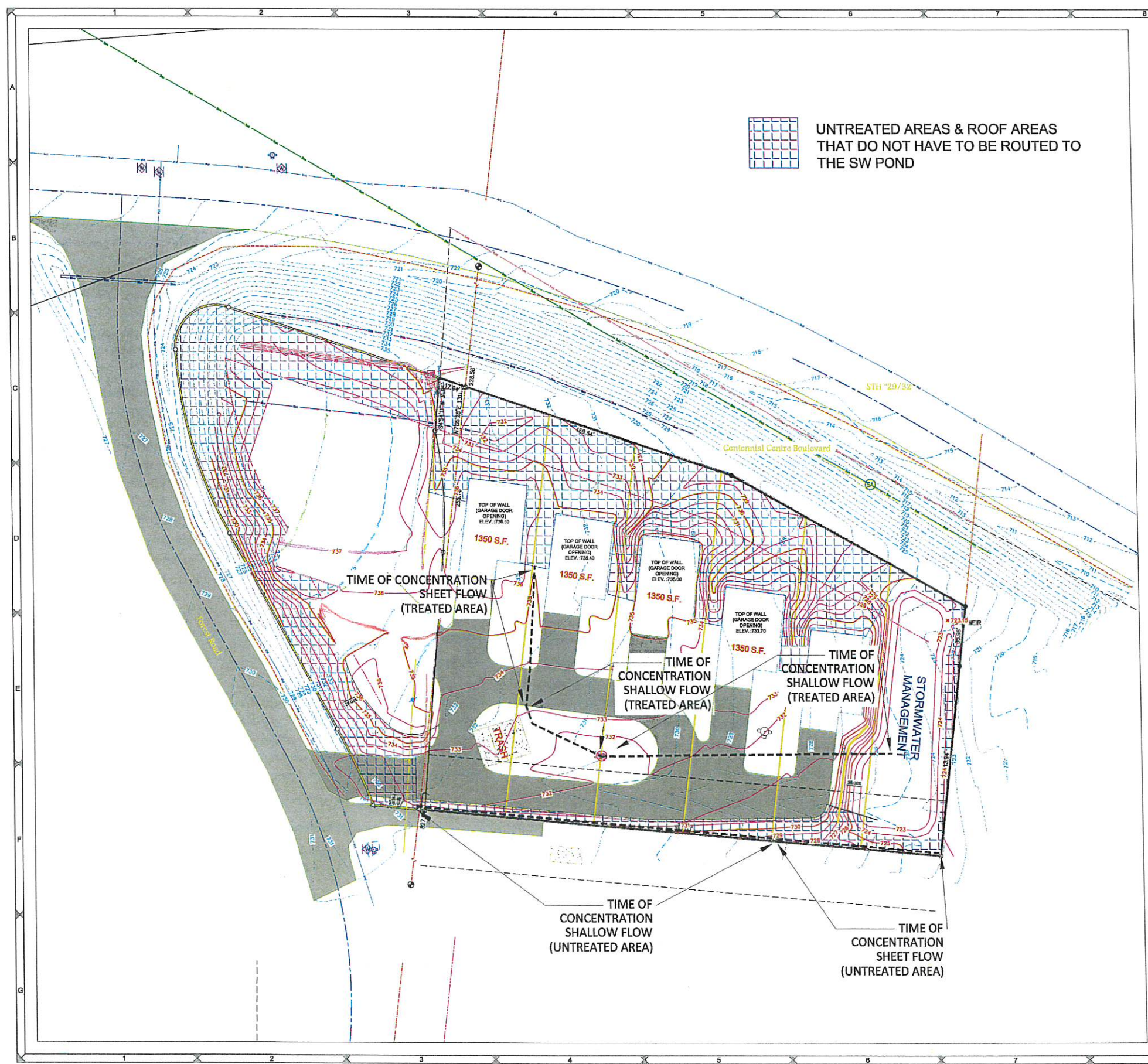


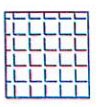
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DATA FILE	BM	
DATE	05-22-23	
Number	Date	Comments
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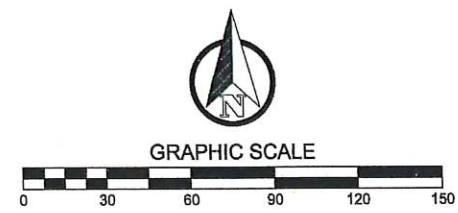
Mau & Associates
 LAND SURVEYING & PLANNING
 CIVIL & WATER RESOURCE ENGINEERING
 Phone: 920-434-9670 Fax: 920-434-9672

KES EXCAVATING SERVICES
 EXISTING WATERSHED

PROJECT NO.
K-22220
 SHEET NO.
C8.0
 DRAWING NO.
S-3737




 UNTREATED AREAS & ROOF AREAS
 THAT DO NOT HAVE TO BE ROUTED TO
 THE SW POND



DESIGNED BY	DJM
DATA FILE	.bd
DATE	05-22-23
Number	
Date	
Comments	

Mau & Associates
 LAND SURVEYING & PLANNING
 CIVIL & WATER RESOURCE ENGINEERING
 Phone: 920-434-9670 Fax: 920-434-9672

KES EXCAVATING SERVICES
 PROPOSED WATERSHED
FILE: K-22220ENG_052223.dwg

PROJECT NO.
 K-22220
 SHEET NO.
C9.0
 DRAWING NO.
S-3737



TO: Planning & Zoning Commission

RE: Preliminary Plat of Parcel HB-550-3, 4758 Forest Rd. for the Planned Development Overlay District

FROM: Todd Gerbers, Director of Planning & Code Compliance

DATE: July 12, 2023

ISSUE: Consider a request for a preliminary plat on parcel HB- HB-550-3, 4758 Forest Rd. for the Planned Development Overlay District

RECOMMENDATION: Staff recommends approval

GENERAL INFORMATION

1. Applicants/Agent: Mau & Associates, LLP (Steve Bieda)
2. Owner: KES Excavating / Village of Hobart
3. Parcel: HB-550-3
4. Current Zoning: R-1: Residential District with a R-7: Planned Unit Development Overlay District

ZONING REQUIREMENTS

The Applicant, on behalf of their client, is requesting the review of a preliminary plat of the Planned Development Overlay District (PDD) on the property located 4758 Forest Rd. (parcel HB-550-3). The plat is proposed to include five (5) separate lots for detached single-family dwellings and one (1) outlot for stormwater management along with a private drive from Forest Rd. to serve the development. This property received the R-1: Residential District base zoning with the R-7: Planned Development Overlay District back in September 2022, and the applicant is now bringing forward the preliminary plat for the proposed single-family residential development.

All six (6) lots (5 buildable and 1 outlot) have frontage on a public roadway, however, access from that roadway (Centennial Centre Blvd.) is restricted due to the grade differential, which is noted on the plat. Therefore, access to this development will be from a common driveway from Forest Rd. With the WDOT still maintaining ownership of right-of-way adjacent to this parcel, the developer shall receive approval from the WDOT to install the driveway connection to Forest Rd. The private driveway as drawn on a 24' cross access easement and is looped to not only allow better access to the individual units, but also is required for access for emergency vehicles. The Outlot 1 shown on the plat is noted as being "dedicated to the Village of Hobart". After discussing with the Village Director of Public Works, since this is a private development, it is recommended that the Village does not take ownership of this outlot and it remains under the ownership of the development.

This is the preliminary plat, and a final plat will need to be brought back at a later date to both the Planning & Zoning Commission as well as the Village Board for final approval.

RECOMMENDATION/CONDITIONS

Staff recommends conditional approval of the preliminary plat subject to the following conditions:

1. Verbiage noted on Outlot 1 be removed so that the outlot remains in the ownership of the development and not the Village of Hobart



<input type="checkbox"/>	Rezoning Review
<input type="checkbox"/>	Conditional Use Permit Review
<input type="checkbox"/>	Planned Development Review
<input checked="" type="checkbox"/>	CSM/Plat Review

Village of Hobart
 Dept of Neighborhood Services
 2990 S Pine Tree Rd
 Hobart WI 54155
 Phone: (920) 869-3809
 Fax (920) 869-2048

APPLICANT INFORMATION

Petitioner: Steve Bieda Date: 05/23/2023
 Petitioner's Address: 400 Security Blvd. City: Green Bay State: WI Zip: 54313
 Telephone #: (920) 434-9670 Fax: () _____ Other Contact # or Email: sbieda@mau-associates.com
 Status of Petitioner (Please Check): Owner Representative Tenant Prospective Buyer
 Petitioner's Signature (required): *SB* Date: 5/23/23

OWNER INFORMATION

Owner(s): Village of Hobart Date: 05/23/2023
 Owner(s) Address: 2990 S Pine Tree Road City: Hobart State: WI Zip: 54155
 Telephone #: (920) 869-1011 Fax: () _____ Other Contact # or Email: _____
 Ownership Status (Please Check): Individual Trust Partnership Corporation

Property Owner Consent: (required)

By signature hereon, I/We acknowledge that Village officials and/or employees may, in the performance of their functions, enter upon the property to inspect or gather other information necessary to process this application. I also understand that all meeting dates are tentative and may be postponed by the Neighborhood Services Department for incomplete submissions or other administrative reasons.

Property Owner's Signature: _____ Date: _____

SITE INFORMATION

Address/Location of Proposed Project: 4758 Forest Road Parcel No. HB-550-3
 Proposed Project Type: _____
 Current Use of Property: _____ Zoning: A-1
 Land Uses Surrounding Site: North: Street
 South: Residential (R-3)
 East: Residential / vacant land (R-1)
 West: Community Business District (B-1)

****Please note that a meeting notice will be mailed to all abutting property owners regarding your request prior to any Public Hearing.**

- Application fees are due at time of submittal. Make check payable to Village of Hobart.
- Please refer to the fee schedule for appropriate fee. FEE IS NON-REFUNDABLE

Preliminary Plat of

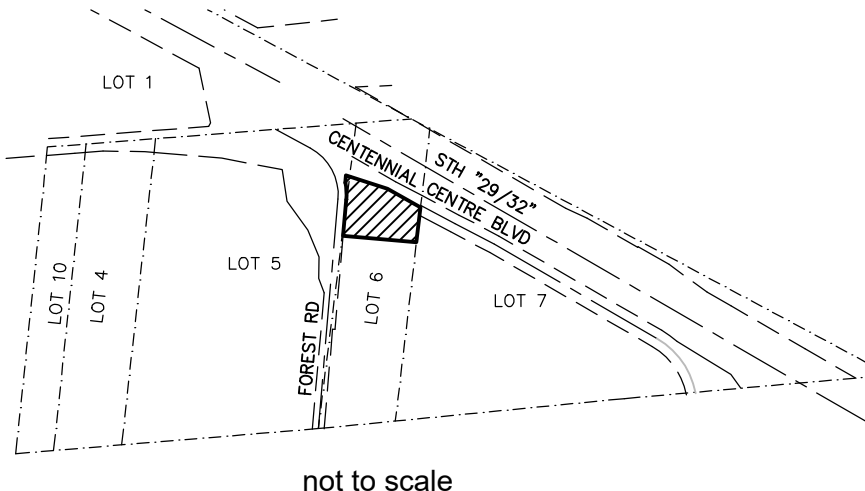
Part of Lot 1, Volume 9, Certified Survey Maps, Page 191, Map No. 2101, Document No. 944882,
Brown County Records and part of Lots 5 and 6, all being in Section 12, T24N-R19E, Village of Hobart,
Brown County, Wisconsin

Graphic Scale



Location Sketch

Lots 5 and 6
Section 12
T24N-R19E
Village of Hobart
Brown County, Wisconsin



not to scale

Legend

- 1" iron pipe found
- ⊙ PK nail found
- ⊕ Brown County monument - type noted
- all other lot corners marked with a 1.32" (o.d.) x 18" iron pipe weighing 1.68 lbs/lin. foot.
- all linear measurements have been made to the nearest hundredth of a foot.
- all distances on curves are arc lengths.

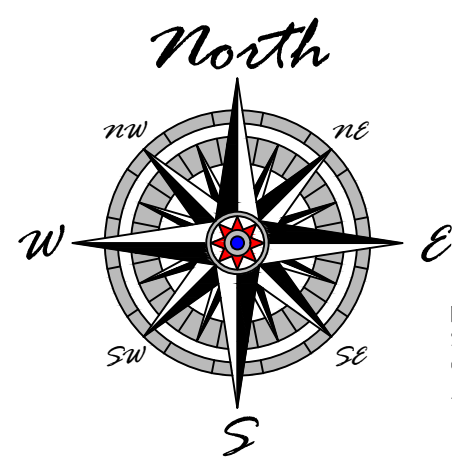
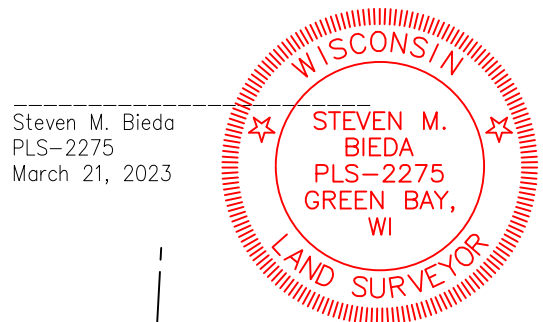
SURVEYOR'S CERTIFICATE

I, Steven M. Bieda, Professional Land Surveyor, PLS-2275, hereby certify:

That in full compliance with the provisions of Chapter 236, Wisconsin Statutes, and the subdivision regulations of the Village of Hobart and the Brown County Planning Commission and under the direction of the owners listed herein, I have surveyed, divided and mapped "_____", and that such plat correctly represents all exterior boundaries and the subdivision of the land surveyed and is part of Lot 1, Volume 9, Certified Survey Maps, Page 191, Map No. 2101, Document No. 944882, Brown County Records and part of Lots 5 and 6, all being in Section 12, T24N-R19E, Village of Hobart, Brown County, Wisconsin, more fully described as follows:

Commencing at the Southwest corner of Lot 6, Section 12, T24N-R19E; thence N7°05'28"E, 827.64 feet along the West line of said Lot 6; thence S85°05'49"E, 3.41 feet to the point of beginning; thence N4°54'11"E, 154.68 feet along the East right of way of Forest Road; thence 73.20 feet along said East right of way being the arc of a 259.69 foot radius curve to the left whose long chord bears N31°0'21"W, 72.95 feet; thence N4°54'11"E, 31.95 feet along said East right of way; thence S71°48'25"E, 186.58 feet along the Southerly Right of Way Centennial Centre Boulevard; thence S60°55'03"E, 161.51 feet along said Southerly right of way; thence S6°40'12"W, 149.90 feet along the Westerly Right of Way of said Centennial Centre Boulevard and the East line of Lot 6 of said Section 12 and the East line of Lot 1, Volume 9, Certified Survey Maps, Page 191, Map No. 2101, Document No. 944882, Brown County Records to the Centerline of a vacated unnamed street; thence N85°05'49"W, 314.056 feet along said Centerline to the Point of Beginning.

Parcel contains 67,636 square feet / 1.55 acres more or less.
Parcel subject to easements and restrictions of record.



Northwest Corner of Section 12, T24N-R19E Concrete Monument with Aluminum cap Found

Curve Data:
Arc: 73.20'
Radius: 259.69'
Chord: 72.96'
Chord Bearing: N31°0'21"W
Central Angle: 16°09'02"
Tangent Bearing: N11°14'52"W

Street Vacation (Not yet recorded)

Forest Road

Right of Way varies

Unplatted Lands

NOTES

Bearings referenced to the East line of Lot 5, Section 12, T24N-R19E, assumed to be N7°05'28"E.

The County Monuments used in this survey are shown and their ties have been found and verified and/or Brown County Planning and Land Services has been notified of any discrepancies.

The property owners, at the time of construction, shall implement the appropriate soil erosion control methods outlined in the Wisconsin Construction Site Erosion and Sediment Control Technical Standards (available from the Wisconsin Department of Natural Resources) to prevent soil erosion. However, if at the time of construction the Village has adopted a soil erosion control ordinance, it shall govern over this requirement. This provision applies to any grading, construction, or installation-related activities.

RESTRICTIVE COVENANTS

The land on all side and rear lot lines of all lots shall be graded by the lot owner and maintained by the abutting property owners to provide for adequate drainage of surface water.

Each lot owner shall grade the property to conform to the adopted sidewalk grade elevation and maintain said elevation for future sidewalks.

Outlot 1 to be dedicated to the Village of Hobart for stormwater management

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.
Certified _____, 20____
Department of Administration

CERTIFICATE OF THE BROWN COUNTY PLANNING COMMISSION

Approved for the Brown County Planning Commission this ____ day of _____, 20____

Kari Mueller
Senior Planner

CERTIFICATE OF THE BROWN COUNTY TREASURER

As duly elected Brown County Treasurer, I hereby certify that the records in our office show no unredeemed taxes and no unpaid or special assessments affecting any of the lands included in this Plat as of the dates listed below.

Paul D. Zeller
Brown County Treasurer

CERTIFICATE OF THE VILLAGE OF HOBART

Approved for the Village of Hobart this ____ day of _____, 20____

Erica Berger
Village Clerk

CERTIFICATE OF THE VILLAGE OF HOBART TREASURER

As duly appointed Village of Hobart Treasurer, I hereby certify that the records in our office show no unredeemed taxes and no unpaid or special assessments affecting any of the lands included in this Plat as of the dates listed below.

Erica Berger
Village Treasurer

OWNER'S CERTIFICATE

As Owners, we hereby certify that we caused the land described on _____ to be surveyed, divided, mapped and dedicated as represented herein. We also certify that this Plat is required by S.236.10 or S.236.12 to be submitted to the following for approval or objection:

VILLAGE OF HOBART
BROWN COUNTY PLANNING COMMISSION
DEPT. OF ADMINISTRATION

Personally came before me this ____ day of _____, 20____, the above named owners, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public
Brown County, Wisconsin

STATE OF WISCONSIN]
] SS
COUNTY OF BROWN]

UTILITY EASEMENT PROVISIONS

An easement for electric, natural gas, and communications service is hereby granted by Village of Hobart, Grantor, to

WISCONSIN PUBLIC SERVICE CORPORATION, a Wisconsin corporation, Grantee,

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electric and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as 'Utility Easement' and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across, within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked 'Utility Easement' without the prior written consent of Grantee. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than six inches without written consent of grantees. This Utility Easement Provision does not prevent or prohibit others from utilizing or crossing the Utility Easement as the Utility easement(s) are non-exclusive.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

SCALE
1"=30'

DRAWN BY
MRA

TAX PARCEL NO. HB-550-3

Preliminary Plat

Mau & Associates, LLP
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Website: www.mau-associates.com
400 Security Blvd Ste 1, Green Bay, WI 54313-9712

KES Excavating

PROJECT NO.
K-22220

SHEET NO.
1 of 1

DRAWING NO.
P-2558

Fieldwork Completed: 12/24/20

Data File: K-22220.txt

File: K-22220Pre Plat 03/20/23.dwg

4.1 State the name, address, and a company profile, including size, qualifications, technical capabilities, etc.

Detail Shop, LLC, DBA Detail Towing, 1238 Parkview Rd. Green Bay, WI 54303, is a roadside assistance and towing company that serves the communities of Northeast Wisconsin. A family owned and operated business since 1998. We operate one of the newest fleets of tow trucks in Brown County. The Detail Shop currently operates 2 flat bed tow trucks, 3 tow trucks, 24 hours a day 7 days a week. We employ 6 staff. Services include towing & roadside assistance for cars, trucks, suv's, motorcycles, light duty vehicles; flatbed transport, accident recoveries, winch-outs, vehicle unlocks, jumpstarts, tire changes, police services, and more.

4.2 Attach a list of similar business contracts you have with other police departments, municipalities, or government entities.

We do not have any other contracts with police departments, or government entities.

4.3 Include a list of the key personnel and manager of the business. Provide a summary of the project team, field staff, and their capabilities and experience.

Ryan Cavil -Owner, 25 years of experience -WreckerMaster Certification

James Smith 7 years of experience -WreckerMaster Certification

Austin Parma 8 years of experience

Tyler William 4 years of experience

Darrin Bell 2 years of experience

4.4 Provide examples of related experience performed by the business during the previous three (3) years (projects with services similar to those outlined in the Section 5, General Scope of Services). The business and key personnel must have no less than three (3) years actual business experience in the services to be provided.

We have been working with the Village of Hobart/Lawrence for over 15 years. We work with many police departments including De Pere, Ashwaubenon, Oneida, Brown County for accident, abandoned vehicles, police investigations, impound, winch outs, and road service.

4.5 Provide a statement describing your approach to the projected services and overall management of delivery of the services.

We take pride in serving our community. Our philosophy is fast and friendly service for all our customers.

4.6 Complete the Statement of Qualifications Reference Form. Provide at least three (3) references of current or recent clients familiar with your business. Respondents shall provide an indemnification and hold harmless statement protecting the reference for comments and opinions provided.

4.7 Complete the Qualification Evaluation Checklist. Reporting false, inaccurate, or misleading information shall be sufficient grounds for disqualification or contract termination. When in doubt, attach a detailed answer or call for clarification.

QUALIFICATION EVALUATION CHECKLIST

Owner: RYAN CAVIL

Contact Person: RYAN CAVIL

1238 PARKVIEW ROAD, GREEN BAY, WI 54304

Telephone: 920-983-0883 BUSINESS OR 920-3607754 CELL

Email Address: DETAILTOW@GMAIL.COM

Question	Yes	Sub	No
1. Has your business ever failed to complete any work awarded to you?			no
2. Has your business ever defaulted on a contract?			no
3. Has your business ever had claims filed for errors and omissions or been sued for services you provided?			no
4. Is your business willing to provide (at no cost to the Village) and on-site presentation to representatives of the Village of Hobart regarding your business's qualifications?		No, unless required	
5. Does your business possess all of the necessary licenses and credentials to perform the work as specified? Is your business licensed in Wisconsin?	yes		
6. Have you reviewed Section 13 = "Agreement" and are you in agreement?	Yes		
7. How many years has your business been engaged in vehicle towing business?		24 years	

Comments/Explanations:

4.8 The respondent shall include a statement that they made their own examination, investigation and research regarding the method of doing the work, all conditions affecting the work to be done, the labor, equipment and materials, and the quantity of the work to be performed. The Proposer agrees that it has satisfied itself by Proposer's own investigation and research regarding all of such conditions, and that Proposer's conclusion to enter into the Service Agreement based upon such investigation and research, and that Proposer shall make no claim against the Village because of any of the estimates, statements or interpretations made by an officer or agent of the Village which may prove to be erroneous in any respect.

The Detail Shop, LLC agrees that it has satisfied itself by its own investigation and research that The Detail Shop, LLC may enter into the Service Agreement we shall make no claim against the Village.

Insurance

See attached

Towing Services	Base rate	Mileage rate	Labor rate	Daily storage rate
Non-consensual / non-preference / abandoned vehicles <i>The costs associated with this tow, would be assessed to the owner of the vehicle.</i>	To be negotiated with the customer			Negotiated with customer
Evidence tows – When a vehicle that needs to be towed is considered evidence.	\$75	\$0	\$50/hour	\$10
Village owned vehicle tows	\$0	0	\$0	0

Insurance

See Attached

STATEMENT OF QUALIFICATIONS REFERENCE FORM**Applicant Firm Name:** Detail Shop, LLC, DBA Detail Towing**Contact Person:** Ryan Cavil**Address:** 1238 Parkview Rd. Green Bay, WI 54304**Telephone:** 920-983-0883 **Email Address:** Detailtow@gmail.com**Reference #1****Company Name:** Ashwaubenon Auto **Contact Person:** John**Types of Services:** Towing**Calendar Year of Services:** 20 years**City/State/Zip Code:** Green Bay**Telephone:** 920-964-0055**Reference #2****Company Name:** Auto Accs**Contact Person:** Brian Buck**Types of Services:** Towing**Calendar Year of Services:** 20 years**City/State/Zip Code:** Green Bay, WI**Telephone:** 920-499-1975**Reference #3****Company Name:** De Pere Auto**Contact Person:** Greg**Types of Services:** Towing**Calendar Year of Services:** 20 years**City/State/Zip Code:** De Pere, WI**Telephone:** 920-336-2200



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
06/15/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Alliance Insurance Centers LLC 3138 Market Street Green Bay WI 54304		CONTACT NAME: Christine Doyle AIS-CISR PHONE (A/C No. Ext): (920) 330-9000 FAX (A/C No.): (920) 330-9001 E-MAIL ADDRESS: cdoyle@allianceinsurancecenters.com	
INSURED The Detail Shop LLC 1236 Parkview Rd. Green Bay WI 54304		INSURER(S) AFFORDING COVERAGE INSURER A: Acuity INSURER B: INSURER C: INSURER D: INSURER E: INSURER F:	
		NAIC # 14184	

COVERAGES CERTIFICATE NUMBER: 2023 REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL. INSURED	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:		D85450	03/30/2023	03/30/2024	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY		D35450	03/30/2023	03/30/2024	COMBINED SINGLE LIMIT (Per accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ UMBRELLA LIAB EXCESS LIAB OCCUR CLAIMS-MADE \$ RETENTION \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) (Yes, describe, under DESCRIPTION OF OPERATIONS below)	Y/N	D35450	03/30/2023	03/30/2024	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 100,000 E.L. DISEASE - EA EMPLOYEE \$ 100,000 E.L. DISEASE - POLICY LIMIT \$ 500,000
A	Garagekeepers Liability On-Hook		D85450	03/30/2023	03/30/2024	\$80,000 LIMIT

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER Hobart/Lawrence Pollee Department 2990 County Hwy GE Hobart WI 54155	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
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