



Village of Hobart
Village Office 2990 S. Pine Tree Rd, Hobart, WI
www.hobart-wi.org - www.buildinhobart.com

Notice is hereby given according to State Statutes that the **SITE REVIEW COMMITTEE** of the Village of Hobart will meet on **Wednesday August 16th 2023 at 5:30 P.M.** at the Hobart Village Office. **NOTICE OF POSTING:** Posted this 11th day of August, 2023 at the Hobart Village Office, 2990 S. Pine Tree Rd and on the village's website.

MEETING NOTICE – SITE REVIEW COMMITTEE

Date/Time: Wednesday August 16th 2023 (5:30 P.M.)

Location: Village Office, 2990 South Pine Tree Road

ROUTINE ITEMS TO BE ACTED UPON:

1. Call to order/Roll Call.
2. Certification of the open meeting law agenda requirements and approval of the agenda.
3. Approve Minutes of the March 15th 2023 and June 28th 2023 meetings (Page 2)
4. Public Comment on Non-Agenda Items

ACTION ITEMS

5. DISCUSSION AND ACTION - Request for a 58,047 sf., school addition and associated site improvements (4193 Hillcrest Dr., HB-712) (Page 6)

This property located at 4193 Hillcrest Dr. is currently developed and utilized as Hillcrest Elementary School for the Pulaski Community School District. The property owner is proposing a 58,047 square foot addition and the site improvements to serve the building expansion.

6. DISCUSSION AND ACTION - Request for new ground mount monument sign (2703 S. Pine Tree Rd., HB-83-1; Village of Hobart Fire Department) (Page 26)

The Village of Hobart Fire Department, located at 2703 S. Pine Tree Rd., is currently under construction and is submitting for review and approval of the proposed new ground mount monument sign. The sign as proposed will have a internally illuminated cabinet and an electronic message center. The proposed sign will be located along S. Pine Tree Rd. near the driveway access to the equipment bays. At the time of the site review for the building, the signage details were not known at that time. The developer has since finalized the signage and is requesting review of the proposed signage. The proposed monument sign will be a total of 3'-5" x 10'3" (35 square feet) with an overall height of 5'-11". The sign will contain an internally illuminated sign cabinet and a electronic message center. The proposed sign complies with the Village Sign Code which allows for a maximum of 50 square feet per side and a maximum height of 20'.

7. ADJOURN

Aaron Kramer – Village Administrator

Members: Dave Dillenburg, Tammy Zittlow, Dave Baranczyk, Rick Nuetzel, Tom Tengowski, Peter Zobro, Steve Riley

NOTE: Page numbers refer to the meeting packet. All agenda and minutes of Village meetings are online: www.hobart-wi.org. Any person wishing to attend, who, because of disability requires special accommodations, should contact the Village Clerk-Treasurer at 920-869-1011 with as much advanced notice as possible. Notice is hereby given that action by the Committee may be considered and taken on any of the items described or listed in this agenda. There may be Committee members attending this meeting by telephone if necessary.



Village of Hobart Site Review Committee Minutes
Hobart Village Office; 2990 S. Pine Tree Rd, Hobart, WI
Wednesday, March 15, 2023 – 5:30 pm

1. Call to Order, Roll Call:

The meeting was called to order by Dave Dillenburg at 5:36pm. Roll call: Dave Dillenburg, aye; Tammy Zittlow, aye; Steve Riley, excused; Peter Zobro, aye; Rick Nuetzel, excused; Dave Baranczyk, aye; Tom Tengowski, aye.

2. Verify/Modify/Approve Agenda:

Motion by Dave Dillenburg, seconded by Dave Baranczyk, to approve the agenda as presented. All in favor. Motion carried.

3. Approval of Site Review Minutes:

Motion by Tom Tengowski, seconded by Dave Baranczyk, to approve the January 18, 2023 minutes as presented. All in favor. Motion carried.

Motion by Peter Zobro, seconded by Dave Baranczyk to approve the August 17, 2022 minutes as presented. Tammy Zittlow and Tom Tengowski abstained from the vote. All in favor. Motion carried.

4. Public Comment on Non-Agenda Items:

Comments made by the following resident:

- Kim Wolfmeyer, 4804 Isabella Circle, Hobart, WI 54155

5. DISCUSSION AND ACTION – New 26,000 square foot commercial building and associated site improvements (580 Centerline Dr., HB-525-7):

Director of Planning & Code Compliance, Todd Gerbers, presented the committee with the proposal. The committee discussed.

Comments made by:

- Derek Vosters with Bayland Buildings, Inc., 3323 Bay Ridge Ct., Hobart, WI 54155

Motion by Tom Tengowski, seconded by Peter Zobro, to approve the recommendation to the Village Board as presented with the following conditions:

1. Signage details shall be submitted for approval prior to installation.
2. When the road goes in along the East property line, they will have 3 years from the completion of the roadway to come back to the Site Review committee to review exterior building materials.
3. Refuge enclosures shall be masonry on 2 of the 3 sides, based on the proposed location.

All in favor. Motion carried.

- 6. DISCUSSION AND ACTION - New 18,200 square foot fire station and associated site improvements (2703 S. Pine Tree Rd.,HB-83-1):** Director of Planning & Code Compliance, Todd Gerbers, presented the committee with the proposal. The committee discussed.

Comments made by:

- Chris Peoples with Bayland Buildings, Inc., 3323 Bay Ridge Ct., Hobart, WI 54155

Motion by Tammy Zittlow, seconded by Dave Dillenburg, to approve the recommendation to the Village Board as presented with the following conditions:

1. Any roof or ground mounted mechanical equipment shall be screened from view by either material compatible with those of the primary building or landscaping, depending on the locations.
2. Submitting of landscape plan for approval prior to implementation.
3. Submitting of lighting plan to Site Review committee for approval prior to installation.
4. Signage details shall be submitted for approval prior to construction and installation.

All in favor. Motion carried.

- 7. Adjourn:**

Motion by Dave Dillenburg, seconded by Dave Baranczyk to adjourn. All in favor. Motion carried. Adjourned at 6:42pm.



Village of Hobart Site Review Committee Minutes
Hobart Village Office; 2990 S. Pine Tree Rd, Hobart, WI
Wednesday, June 28, 2023 – 5:30 pm

1. Call to Order, Roll Call:

The meeting was called to order by Dave Dillenburg at 5:32 pm. Roll call: Dave Dillenburg, aye; Tammy Zittlow, aye; Steve Riley, aye; Dave Baranczyk, aye; Tom Tengowski, aye, Peter Zobro and Rick Nuetzel were excused.

2. Verify/Modify/Approve Agenda:

Motion by Dave Dillenburg, seconded by Tammy Zittlow, to approve the agenda as presented. All in favor. Motion carried.

3. Approval of Site Review Minutes:

No action taken due to question on the March 15, 2023 minutes.

4. Public Comment on Non-Agenda Items:

None.

5. Request for a 224-unit, 16 building leased multi-family residence development with detached office building along S. Pine Tree Road (Portion of HB-350):

Director of Planning & Code Compliance, Todd Gerbers, presented the committee with the request. The committee discussed.

Motion by tom Tengowski, seconded by Teve Riley, to approve the proposed project as presented subject to the following conditions:

1. Meeting with Village Staff and SRC Chairperson to review exterior building materials and “metal wrapped enclosure” for trash/recycling enclosure.
2. Location of lock box shall be verified and approved by Village Fire Chief.
3. All drive lanes shall comply with Village requirements relating to widths and turning radius for fire apparatus.
4. Village Staff to work with Developer regarding landscape plan at southwest corner of development to ensure proper screening prior to implementing.

All in favor. Motion carried.

6. Request for an approximately 135-unit, 6 building leased mini-storage warehousing development to the rear of the property located at 3849 W. Mason Street:

Director of Planning & Code Compliance, Todd Gerbers, presented the committee with the request. The committee discussed.

Motion by Dave Dillenburg, seconded by Dave Baranczyk, to approve the proposed project as presented subject to the following conditions:

1. Developer shall coordinate with the Village Fire Chief regarding access for emergency vehicles past the proposed gate in driveway (provide access code or access card).

2. All drive lanes shall comply with Village requirements relating to widths and turning radius for fire apparatus.
3. Any proposed signage shall be submitted to the SPR Committee for approval prior to installation.

All in favor. Motion carried.

7. Request to modify previously approved site plan for self-storage units located at 3346 S. Pine Tree Road, decreasing the total number of units and overall buildings within the development:

Director of Planning & Code Compliance, Todd Gerbers, presented the committee with the request.

The committee discussed.

Motion by Steve Riley, seconded by Tom Tengowski, to approve the proposed project as presented.

All in favor. Motion carried.

8. Adjourn:

Motion by Tom Tengowski, seconded by Dave Baranczyk to adjourn. All in favor. Motion carried.

Adjourned at 6:39 pm.



TO: Site Review Committee

RE: 4193 Hillcrest Dr., HB-712; New 58,047 sf Addition to Public School Building and Associated Site Improvements

FROM: Todd Gerbers, Director of Planning and Code Compliance

DATE: August 16, 2023

ISSUE: Discussion and action on request for a 58,047 sf., school addition and associated site improvements

RECOMMENDATION: Staff recommends approval subject to any conditions the Committee may identify.

GENERAL INFORMATION

1. Developer: Pulaski Community School District
2. Applicant: Point of Beginning, Inc.
Pulaski Community School District
3. Address/Parcel: 4193 Hillcrest Dr., HB-712
4. Zoning: Currently: R-1: Residential District / Proposed: PI: Public / Institutional District
5. Use: Public School

BACKGROUND

This property located at 4193 Hillcrest Dr. is currently developed and utilized as Hillcrest Elementary School for the Pulaski Community School District. The property owner is proposing a 58,047 square foot addition and the site improvements to serve the building expansion.

SITE REVIEW DEVELOPMENT AND DESIGN STANDARDS CHECKLIST

Section 3, Site Plan Approval

- A. **Zoning:** Currently: R-1: Residential District and currently in the process to be rezoned to PI: Public / Institutional District
- B. **Green Space:** 41.65 % green space after proposed expansion.
- C. **Setbacks:** Compliant with zoning district requirements of 40' front(s), 20' rear, 15' side. (190' from Hillcrest Dr. right-of-way, 288' from south (side) property line, 180' from the north (side) property line, and 725' from the west (rear) property line)
- D. **Parking:** Currently the site has 71 marked parking stalls (47 in the main/front lot and 24 marked stalls in the lot to north of the existing school (these as mainly event parking stalls only)). The site will have additional stalls constructed which will bring the total parking stalls to 144. Village code reads: "*Elementary and middle schools. One parking space shall be provided for each employee and adequate visitor space to be determined by the Board of Education*".
- H. **Fire Dept. (and Police Dept.):** The plans presented have been reviewed and accepted by the Police Chief as submitted, and the Fire Chief is reviewing the plans with any comments being brought to the meeting.

I. Storm Water: Storm water from the proposed building addition and parking areas will be collected by on-site storm sewer before being discharged to a “wet pond” storm water retention area in the southeast corner of the property. Pond discharge is shown to be into the roadway ditch along Hillcrest Dr.

M. Refuse Collection: A new trash/recycling enclosure is planned to be constructed of a chain-link fence with privacy slats at the northwest corner of the proposed addition.

Section 4, Architectural Plan Approval

A. Exterior Construction Information:

- 1. Materials:** Masonry and metal framing. (To match existing)
- 2. Exterior Materials:** All new building elevations will consist of brick veneer with aluminum and glass curtain wall along a portion of the front (east) elevation, and pre-cast concrete panels on the taller portion of the building addition.
- 3. Height:** 22’ at the primary public elevation and 30’ at the rear gym structure.
- 4. Overhead doors:** There are none proposed on the plans.
- 5. Mechanical equipment:** No mechanical equipment is shown on the plans, however, should such equipment be installed on the roof it shall be screened from view by materials compatible with those used for the principal structure. Any such equipment located on the ground shall be screened from view by landscaping or fencing to compliment the building and overall landscaping.

Section 5, Landscaping Plan: The landscape plan calls for 23 trees to be planted along the front of the property (Hillcrest Dr.) with foundation plantings adjacent to the main entrance into the building.

Section 6, Lighting: The lighting plan is approved by Staff as submitted, continuation of parking lot pole lighting to match existing.

Section 7, Signage: Wall signage is shown as 24” aluminum lettering on the front elevation. Future signage is noted also on the front elevation, however, that will need to be submitted for approval prior to installation.

Section 8, Driveway-Curb Cut: The same number (3) of existing driveway accesses are proposed, however, any alterations or relocations to any of the driveway access points will require approval from Brown County.

RECOMMENDATION/CONDITIONS

Staff recommends conditional approval, subject to the following in addition to any conditions the Site Review Committee may identify:

1. Storm water plan shall be approved by the Village Engineer;
2. Screening of any proposed roof mounted HVAC equipment with materials similar to those utilized for the principal building, or landscaping if such equipment is located on the ground;
3. Coordinate with Village Fire Chief regarding the number and location of lock box(s);
4. Any new signage (other than the shown 24” aluminum lettering on the front elevation and any site directional signage) that may be proposed, shall come back to the Committee for approval;
5. Property owner is responsible and shall receive approval and permits on any alterations or relocations to any of the driveway access points along Hillcrest Dr. from Brown County;
6. Property owner is responsible and shall receive approval from American Transmission Company (ATC) for any structure or land disturbing activity within the easement for the overhead transmission lines.

VILLAGE OF HOBART

SITE REVIEW / DEVELOPMENT AND DESIGN STANDARDS PROCESS & APPROVAL

PLAN SUBMITTAL REQUIREMENTS:

- Fifteen (15) copies 11 x 17 or size that is legible with all information required by this process.
- Fifteen (15) copies of the Completed Checklist
- This checklist with complete information no later than ten 10 business days prior to the Third Tuesday of the month to the Village Clerk; NO LATER THAN 1200 HOURS. (Noon)
- One (1) full size set of site plans.
- One (1) full size set of building plans, Ready for State Approval
- All site plans shall be drawn to an engineering scale no greater than one-(1) inch equals one hundred (100) feet.
- Signs not part of this application would be a considered a separate application
- Application fee of \$150.

ALL INFORMATION MUST BE COMPLETE PRIOR TO SCHEDULING A MEETING OF THE SITE REVIEW COMMITTEE. NO BUILDING PERMIT WILL BE ISSUED WITHOUT APPROVED PLANS FROM THE SITE REVIEW COMMITTEE.

1. LOCATION

Project / Development / Site Location / intersection (section town & range)

Hillcrest Elementary School Addition and Redevelopment project

located at 4193 Hillcrest Rd. Section 24, T24N, R19E Village of Hobart.

2. TYPE OF DEVELOPMENT

Size of Parcel (acreage or square footage): 35.74 AC

Size of facility(square footage): 106,872 SF

Type of facility: Hillcrest Elementary School

Developer: Pulaski Community School District

Address: 143 W Green Bay St. Pulaski, WI 54162 Phone: (920) 655-6233

Engineer: Point of Beginning Inc.

Address: 4941 Kirschling Court Stevens Point, WI 54481 Phone: (715) 344-9999

Contractor: TBD

Construction Firm: CD Smith Construction

Address: 241 N. Broadway Suite 400 Milwaukee, WI 53202 Phone: 920.924.2900

Revised 1-23-08

3. SITE PLAN APPROVAL

A. Industrial ____ Business Park ____ Commercial X
Multi-Family ____

Current Zoning: R1 - Residential District

Other – Identify: _____

Erosion Control Plan on file: X YES _____ NO

% of Green Space: 41.65%

B. Orientation – Provide scale map of parcel and facility, (show north indicating arrow, and a graphic scale)

C. Setback Information: 40' Complies with Ordinance: yes

D. # of parking stalls (Include Handicapped parking): 144

E. Show the following Utilities and all easements including but not limited to the following facilities types:

1) Electric underground overhead

2) Natural Gas

3) Telephone

4) Water / Fire Hydrants

5) Fiber Optic Lines

6) Other transmission lines _____

7) Ingress – egress easements _____

F. Total Site Build-out including future structures and setbacks:

Complies with ordinance X YES _____ NO

G. Identify on the Site Plan Key: Spot Elevations: such as Center of Street, Driveway apron, 4 - corners of lot, building elevations, building floor, key drainage points & ditches on local USGS Datum:

Data Complete: X YES _____ NO

- H. Adjacent streets and street rights-of-ways and fire lanes:
 - 1) Fire Chief has reviewed and approved: ___ YES ___ X NO
 - 2) Not applicable _____

- I. Water bodies and wetlands. Over 1-acre disturbed requires storm water plan.
 - 1) Surface water holding ponds, drainage ditches, and drainage patterns, location and size of culverts
 - 2) Name and address and phone# of engineer of project plan:
Point of Beginning Inc. 4941 Kirschling Court Stevens Point, WI 54481 (715) 344-9999

- J. Sidewalks, walkways, and driveways:

- K. Off street loading areas and docks:

- L. Fences and retaining walls or berms:

- M. Location & Size of exterior refuse collection areas (must be enclosed a minimum of three (3) sides):
Located in northwest corner of addition. Size 24' x 41' with chain link fence with privacy slates.

- N. Location and dimensions of proposed outdoor display areas: NA

4. ARCHITECTURAL PLAN APPROVAL

- A. Exterior construction information:
 - 1) Type of Construction Materials: Steel Frame and Masonry Bearing Wall
 - 2) Exterior Materials: Primarily Brick Veneer with Fiber Cement Panel Accents
 - 3) Height of Facility: 22' @ Primary Public Elevation; 30' Max. @ Rear Gym Structure
 - 4) Compatibility with existing adjacent structure: See Attached Rendering (Attach Photos)
 - 5) Other unique characteristics: _____

5. **LANDSCAPING PLAN**

If planting new trees in Village right-of-way, a requirement of a 1.5" caliper or greater of the tree at 12" above ground is needed, according to planting ordinance specifications. A tree-planting plan must be filed with the application. Tree placement is 1-tree every 50 feet of frontage.

Provide scaled landscaping of plan for parcel

Identify tree and location specifics – Quantity / Diameter, etc:

See plan set sheet L1.0 for planting schedule

Identify Shrubs & Location Specifics - Quantity: See plan set sheet L1.0 for planting schedule

Identify Buffering -Type – Quantity:

See plan set sheet L1.0 for planting schedule

6. **LIGHTING PLAN**

Provide scaled lighting plan for parcel

Identify Exterior Building Lighting – Quantity, Wattage, Location :

See attached photometric plan

Identify Parking Lighting – Quantity – Wattage – Location :

See attached photometric plan

Identify other Lighting – Quantity – Wattage – Location:

See attached photometric plan

7. **SIGNAGE**

Provide scaled drawings.

Provide Site Plan for signage

Provide building elevations with signage.

Discussion: Building signage will be submitted separately at a future date

Complies with Ordinance: _____ YES _____ NO

Date: _____

8. **DRIVEWAY – CURB CUT**

Width of Curb Cut: 3 driveways total - 36'/35'/24'

Radius / Flare: 3 driveways total - 10/10/25

Apron Dimensions: NA

Culvert Size (End-walls Required) 3 driveways total - 18"/18"/18"



Storm Water Utility Service Application

Dept. of Neighborhood Services
2990 S. Pine Tree Rd.
Hobart WI 54155
920-869-3809

A. Applicant

Applicant Name: Nick Phillips Owner Name: Nick Phillips - Pulaski Community School District
 Address: 143 W Green Bay St. Address: 143 W Green Bay St.
 City: Pulaski State: WI Zip: 54162 City: Pulaski State: WI Zip: 54162
 Phone: () 920- 655-6233 Phone: () 920- 655-6233
 Email: njphillips@pulaskischools.org Email: njphillips@pulaskischools.org

B. Parcel – Site Information

Site Address: 4193 Hillcrest Drive, Hobart WI Parcel ID: HB-712
 Project Description: Addition & Renovation to Hillcrest Elementary School


Residential ERU Calculations

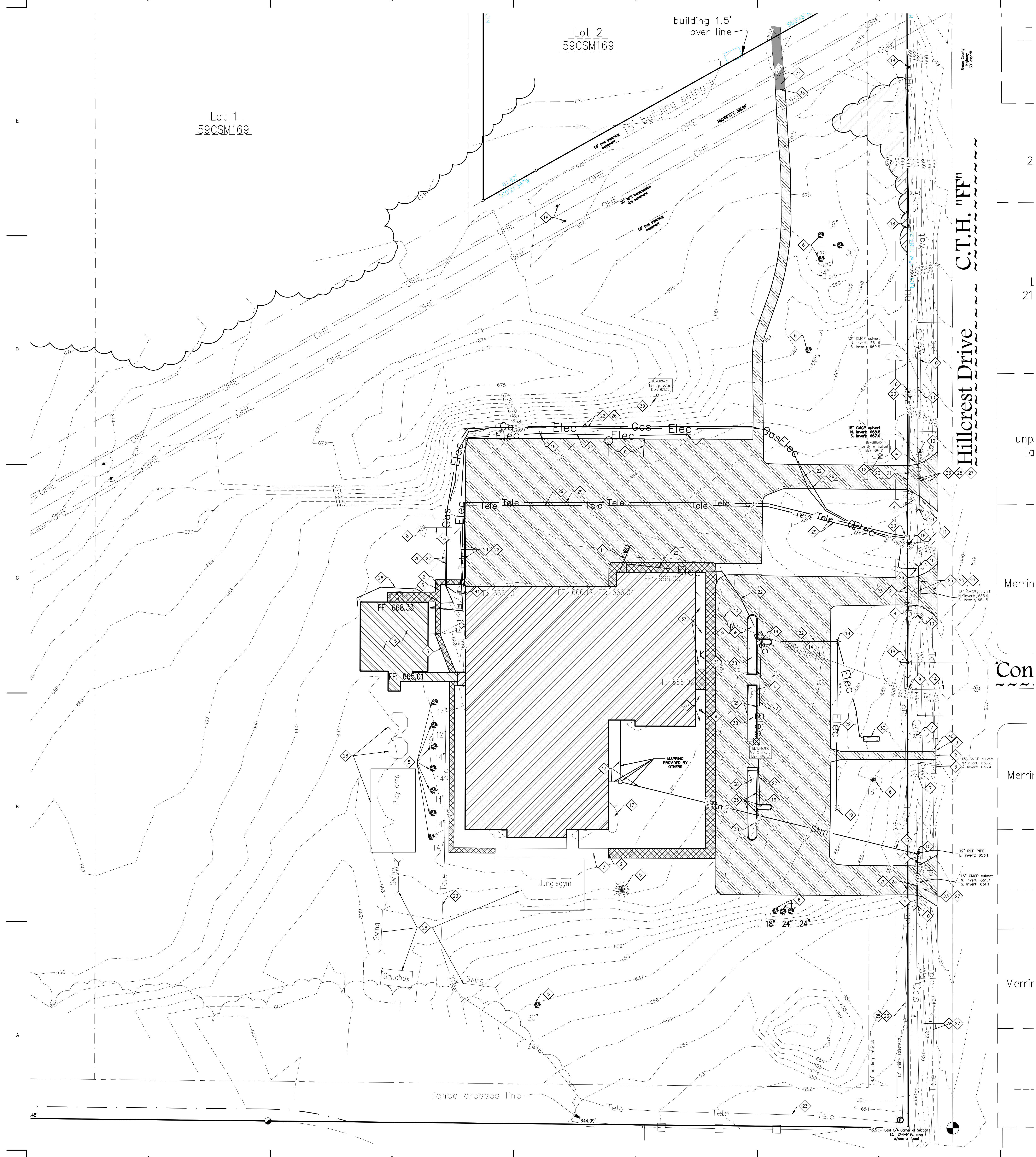
Use	<input type="checkbox"/> Single Family	<input type="checkbox"/> Duplex	<input type="checkbox"/> Multi-family
Number of Dwellings			
ERU's / Dwelling	1 ERU	0.75 ERU	0.6 ERU
Total ERU's			

Nonresidential Uses - Impervious Surface Calculation

	Existing		Change (+/-)		= New Total Area	
		sq. ft.		sq. ft.		sq. ft.
Building/Structure Foot Prints	48,825	sq. ft.	58,047	sq. ft.	106,872	sq. ft.
Paved/Gravel Areas	98,084	sq. ft.	84,150	sq. ft.	182,234	sq. ft.
Totals	146,909	sq. ft.	142,197	sq. ft.	289,106	sq. ft.

ERU Calculation: 289,106 / 4000 sf / ERU = 72.28 ERU's
 New Total Area sq. ft.

Preparer's Signature:  Date: 8/1/2023
 Preparer's Printed Name: James Lundberg



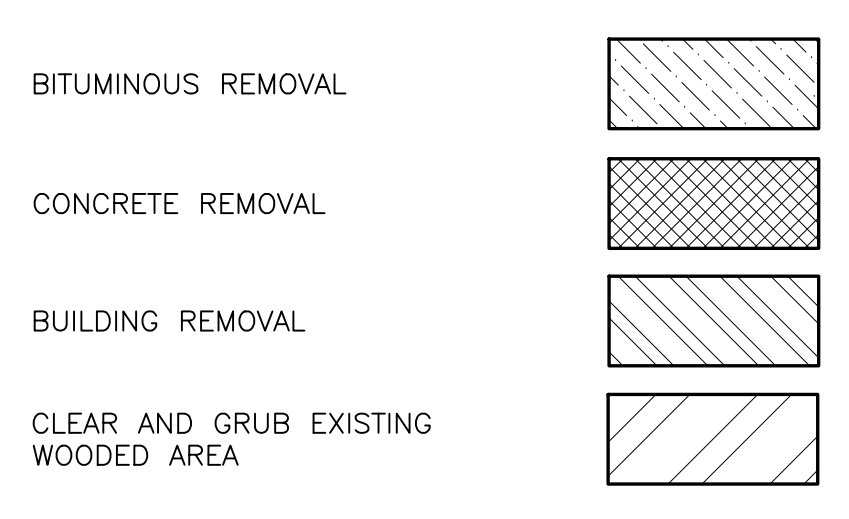
GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED, WHICH SHOULD BE TURNED OVER TO THE OWNER.
- INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/CONSTRUCTION, IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
- BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
- COORDINATE WITH THE OWNER AND LOCAL UTILITY COMPANIES TO LOCATE ANY EXISTING UTILITIES ON SITE PRIOR TO THE START OF WORK.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED, AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- COORDINATE ALL UTILITY REMOVAL, DISCONNECTION, &/OR RECONNECTION WITH RESPECTIVE UTILITY COMPANIES PRIOR TO BEGINNING WORK.
- ANY EXISTING UTILITIES NOT EXPRESSLY LABELED FOR DEMOLITION/REMOVAL ON THIS DOCUMENT SHALL BE LEFT IN PLACE AND IN THEIR CURRENT STATE OF OPERATION. CONTACT ENGINEER WHEREVER CLARIFICATION IS NEEDED.
- STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
- IF STRIPPED TOPSOIL IS STOCKPILED ON SITE, SILT FENCE SHALL BE INSTALLED AROUND THE BASE OF THE STOCKPILE TO PREVENT SEDIMENT TRANSPORT.
- PRIOR TO PERFORMING WORK WITHIN PUBLIC RIGHT OF WAYS, NOTIFY AND COORDINATE WORK WITH THE LOCAL MUNICIPALITY.
- MAINTAIN TRAFFIC CIRCULATION TO ALL NEIGHBORING PROPERTIES SHOWN ON THIS DOCUMENT. COORDINATE ALL WORK WITH NEIGHBORING PROPERTY OWNERS.

KEYNOTES:

- | | | |
|--|--|--|
| 1. SAWCUT EXISTING BITUMINOUS PAVEMENT | 17. REMOVE EXISTING LANDSCAPE AREA: SHRUBS, MULCH AND FILTER FABRIC | REMOVE BASE. |
| 2. SAWCUT EXISTING CONCRETE WALK | 18. MAINTAIN EXISTING POWER/LIGHT POLE & GUY WIRES | 32. REMOVE EXISTING CHAIN LINK DUMPSTER ENCLOSURE |
| 3. MAINTAIN EXISTING CONCRETE WALK | 19. REMOVE EXISTING POWER/LIGHT POLE--COORDINATE W/UTILITY COMPANY | 33. SAWCUT EXISTING ASPHALT PAVEMENT |
| 4. REMOVE/SALVAGE EXISTING SIGN | 20. MAINTAIN EXISTING TELEPHONE PEDESTAL--ADJUST AS NEEDED TO ACHIEVE FINISH GRADE ELEVATION. COORDINATE ANY ADJUSTMENTS W/UTILITY COMPANY. | 34. MAINTAIN EXISTING ASPHALT PAVEMENT |
| 5. MAINTAIN & PROTECT EXISTING TREE/VEGETATION | 21. MAINTAIN EXISTING OVERHEAD POWER | 35. REMOVE EXISTING CONCRETE CURB MONUMENT |
| 6. CLEAR & GRUB EXISTING TREE | 22. REMOVE EXISTING ELECTRICAL LINE--COORDINATE WITH UTILITY COMPANY | 36. REMOVE & SALVAGE EXISTING CONCRETE MONUMENT |
| 7. MAINTAIN EXISTING CULVERT | 23. MAINTAIN EXISTING TELEPHONE LINE--ADJUST LINE AS NEEDED TO ACHIEVE FINISH GRADE ELEVATION. COORDINATE ANY ADJUSTMENTS W/UTILITY COMPANY. | 37. MAINTAIN & PROTECT EXISTING LANDSCAPING, INCLUDING VEGETATION, MULCH, FABRIC, EDGING, ETC. |
| 8. REMOVE EXISTING STORM SEWER STRUCTURE | 24. MAINTAIN EXISTING TELEPHONE BOX--ADJUST BOX AS NEEDED TO ACHIEVE FINISH GRADE ELEVATION. COORDINATE ANY ADJUSTMENTS W/UTILITY COMPANY. | 38. CLEAR & GRUB ALL TREES LOCATED WITHIN THE ISLAND |
| 9. MAINTAIN EXISTING SANITARY SEWER STRUCTURE--ADJUST RIM AS NEEDED TO ACHIEVE PROPOSED FINISH GRADE ELEVATION | 25. MAINTAIN EXISTING GAS LINE--ADJUST LINE AS NEEDED TO ACHIEVE FINISH GRADE ELEVATION. COORDINATE ANY ADJUSTMENTS W/UTILITY COMPANY. | 39. REMOVE EXISTING METAL PIPE |
| 10. REMOVE EXISTING CULVERT | 26. REMOVE/RELOCATE EXISTING GAS LINE--COORDINATE W/UTILITY COMPANY | 40. MAINTAIN EXISTING PEDESTRIAN CROSSING TRAFFIC LIGHT/SIGN |
| 11. REMOVE EXISTING WATER SERVICE--COORDINATE WITH BUILDING PLUMBER (NO ADDITIONAL INFORMATION AVAILABLE ON ROUTE OR LENGTH OF WATER MAIN--CONTRACTOR WILL NEED TO FIELD VERIFY) | 27. MAINTAIN EXISTING WATER SERVICE | 41. MAINTAIN EXISTING TRANSFORMER |
| 12. REMOVE & SALVAGE EXISTING HYDRANT/VALVE--SEE SHEET C5.0 FOR REINSTALLATION LOCATION | 28. MAINTAIN EXISTING PLAYGROUND EQUIPMENT AND PLAY AREA | |
| 13. REMOVE EXISTING STORM SEWER PIPE/ MANHOLE--COORDINATE W/BUILDING PLUMBER | 29. REMOVE EXISTING TELEPHONE LINE--COORDINATE W/UTILITY COMPANY | |
| 14. MAINTAIN EXISTING SANITARY SEWER PIPE | 30. REMOVE & SALVAGE EXISTING MONUMENT SIGN. CONTRACTOR TO COORDINATE W/ OWNER ON STORAGE OF SALVAGED ITEMS. | |
| 15. REMOVE EXISTING PORTABLE CLASSROOM STRUCTURE & PIERS--SEE ARCHITECTURAL PLANS | 31. REMOVE & SALVAGE EXISTING FLAG POLE. | |

DEMOLITION HATCH PATTERNS:



CIVIL SHEET INDEX:

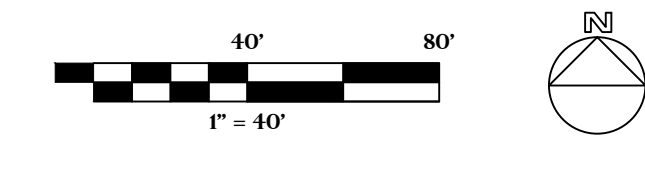
- C1.0 DEMOLITION PLAN
- C2.0 LAYOUT PLAN
- C3.0 GRADING PLAN
- C4.0 EROSION CONTROL PLAN
- C5.0 UTILITY PLAN
- C6.0 DETAILS
- C6.1 DETAILS

BENCHMARK:

THE BASE TOPOGRAPHIC MAP FOR THIS DRAWING WAS SURVEYED AND DRAFTED BY OTHERS.

EXISTING CONDITIONS DISCLAIMER:

NOTE THAT THE BASE TOPOGRAPHIC MAP FOR THIS DRAWING WAS SURVEYED AND DRAFTED BY OTHERS. POINT OF BEGINNING WILL NOT BE HELD LIABLE FOR ANY INACCURACIES OR OMISSIONS FROM THE TOPOGRAPHIC MAP/INFORMATION.



Lot 1
59CSM169

Lot 2
59CSM169

building 1.5'
over line

PROPOSED
BUILDING ADDITION
F.F.E.=666.00

PROPOSED
BUILDING ADDITION
F.F.E.=666.00

Hillcrest Drive
C.T.H. "FF"

GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- ALL REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- SEE SHEET C4.0 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
- PRIOR TO STARTING WORK, VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
- COORDINATE CONSTRUCTION IN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES.
- PROVIDE PROPER BARRICADES, SIGNS, AND TRAFFIC CONTROL TO MAINTAIN THRU TRAFFIC ALONG ADJACENT STREETS IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS.
- SIDEWALK JOINTS SHALL BE INSTALLED AS INDICATED OR AS APPROVED BY THE CONSTRUCTION MANAGER.
- ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED, FERTILIZED, AND CRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

KEYNOTES:

- | | | | |
|--|----|---|----|
| 1. THICKENED EDGE WALK | 5 | 16. PROPOSED SWING GATE AND POSTS | 9 |
| 2. 18" ROLLED CONCRETE CURB & GUTTER | 6 | 17. PROPOSED RAISED LANDSCAPE PLANTER (SEE ARCHITECTURAL PLANS) | |
| 3. 6' CURB TAPER SECTION | 11 | 18. 6' TALL BLACK VINYL COATED CHAIN LINK FENCE WITH PRIVACY SLATES | 3 |
| 4. CURB RAMP | 8 | 19. REINSTALL SALVAGED FLAG POLE | 4 |
| 5. PARKING LOT STRIPING | 7 | 20. 6' TALL BLACK VINYL COATED CHAIN LINK FENCE | |
| 6. DIRECTIONAL ARROW | 6 | 21. 12' DOUBLE SWING SERVICE GATE | 12 |
| 7. HANDICAP PARKING STALL | 7 | 22. PROPOSED BASKETBALL STANDARDS & HOOP, PROVIDED BY OTHERS. CONTRACTOR TO VERIFY LOCATION WITH OWNER PRIOR TO INSTALLATION. | |
| 8. HANDICAP PARKING SIGN | 8 | 23. REMOVABLE BOLLARDS | |
| 9. DUMPSTER ENCLOSURE | 3 | 24. CONCRETE STAIR W/RAILINGS | 2 |
| 10. DIRECTIONAL SIGNAGE | 1 | 25. 18" STANDARD CURB & GUTTER | 6 |
| 11. EXISTING TREE TO REMAIN | | 26. PROPOSED LIGHT POLE LOCATION (SEE ELECTRICAL PLANS) | |
| 12. PROPOSED RUBBER PLAY SURFACE (SEE ARCHITECTURAL PLANS) | 5 | | |
| 13. PROPOSED CROSSWALK | 5 | | |
| 14. 18" CONCRETE REJECT CURB & GUTTER | 6 | | |
| 15. PROPOSED PLAYGROUND STRIPING | 9 | | |

PAVEMENT HATCH PATTERNS:

- | | |
|---------------------------------------|---|
| PROPOSED STANDARD ASPHALT PAVEMENT | 1 |
| PROPOSED HEAVY DUTY ASPHALT PAVEMENT | 2 |
| PROPOSED ASPHALT PATH | 7 |
| PROPOSED STANDARD CONCRETE PAVEMENT | 4 |
| PROPOSED REINFORCED CONCRETE PAVEMENT | 3 |

SITE PARKING

OFF-STREET PARKING PROPOSED:

139 STANDARD PARKING STALLS
5 ADA PARKING STALLS

144 TOTAL PARKING STALLS PROPOSED

SITE STATISTICS

TOTAL DISTURBED AREA:
420,168 SF OR 9.6 AC

PERCENT IMPERVIOUS: 58.35%
245,042 SF/420,168 SF = 0.5832

PERCENT GREEN SPACE: 41.65%
175,000 SF/420,168 SF = 0.4165

FLOOR AREA RATIO: 25.44%
106,872 SF/420,168 SF = 0.254355

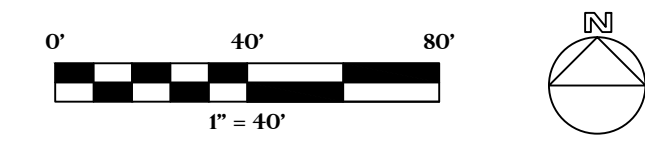
GROSS SF OF EXISTING & PROPOSED BUILDINGS:
EXISTING BUILDINGS: 48,825 SF
PROPOSED BUILDINGS: 58,047 SF
TOTAL SF: 106,872

BENCHMARK:

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DATE DESCRIPTION

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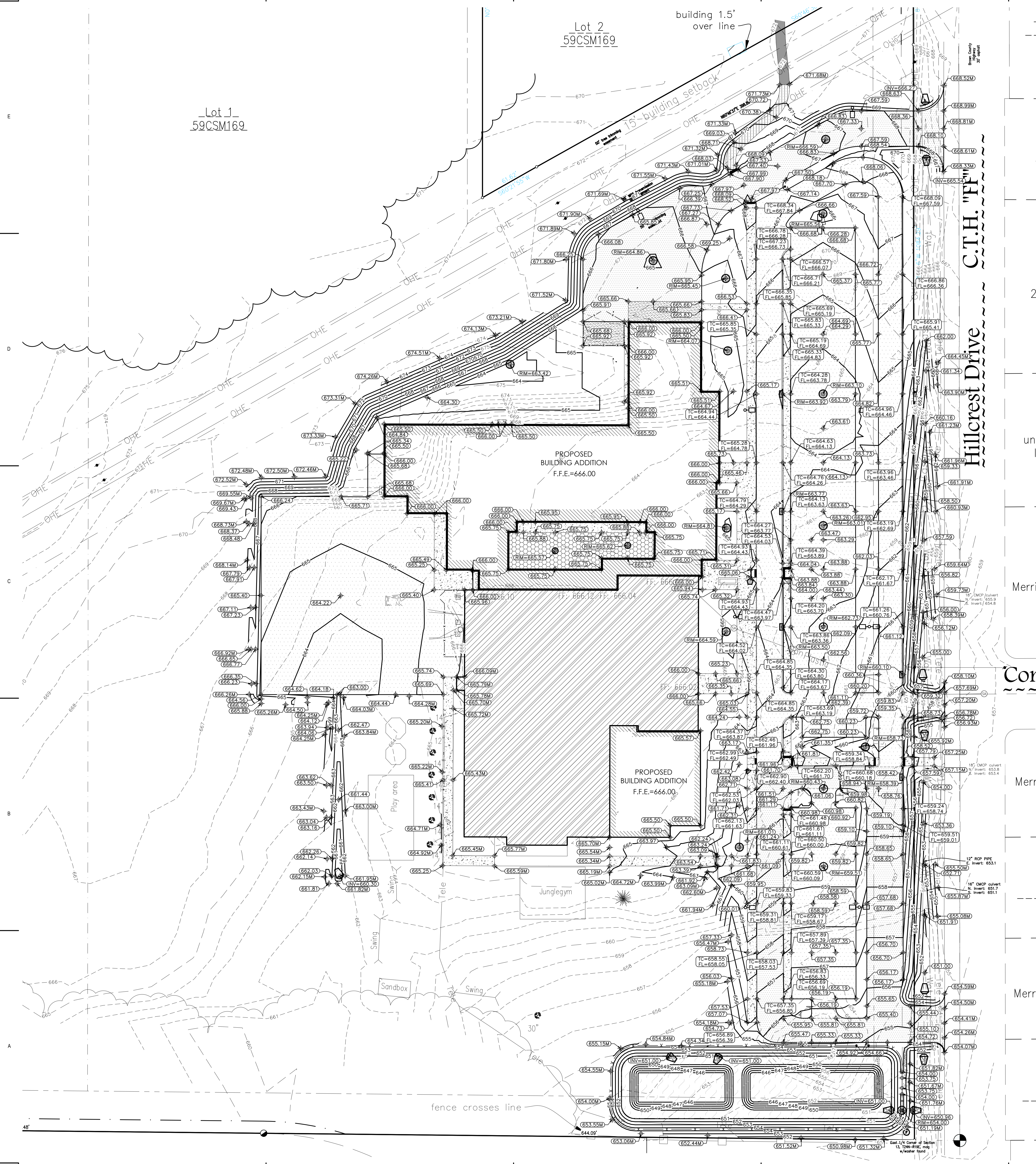
Sheet Title:
**LAYOUT
PLAN**

Sheet Number:
C2.0

Lot 2
59CSM169

Lot 1
59CSM169

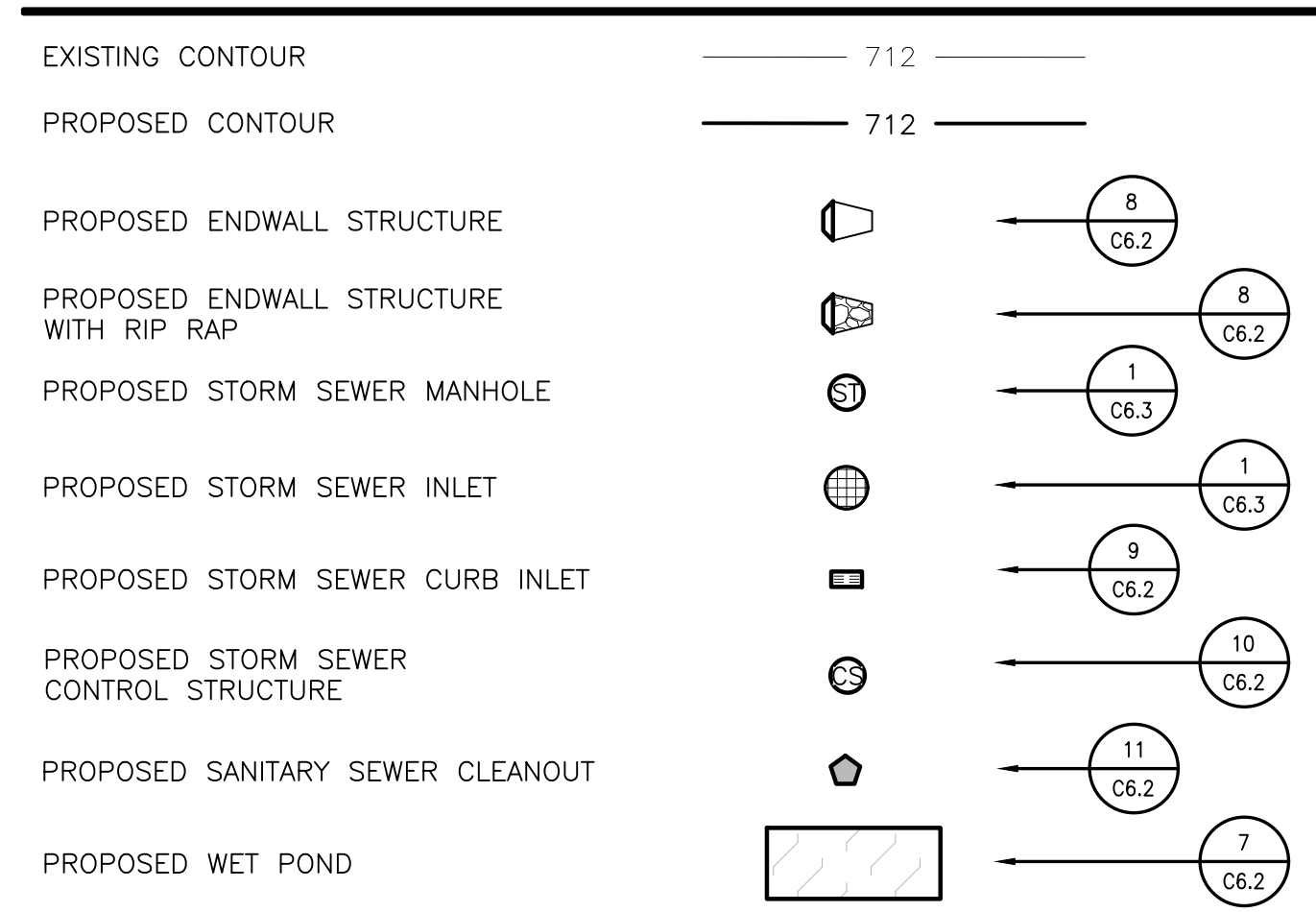
building 1.5'
over line



GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- THE PROPOSED SITE PLAN FINISH FLOOR ELEVATION OF 666.00' EQUALS THE PROPOSED BUILDING ARCHITECTURAL FINISH FLOOR ELEVATION OF 100.00'.
- GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS AND 12" SHALL BE PROVIDED IN ALL PLANTING BED AREAS.
- SEE SHEET C4.0 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED, AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- COORDINATE ALL EARTHWORK ACTIVITIES WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
- PROVIDE RIP RAP AT ALL CULVERT OUTFLOW ENDWALL STRUCTURES TO PREVENT WASHOUT AND EROSION.
- INSTALL WEDGOT TYPE HR FILTER FABRIC BENEATH ALL RIP RAP.
- EXCESS TOPSOIL SHALL BE REMOVED FROM SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER. COORDINATE WITH OWNER FOR LOCATION OF STOCKPILE IF THE OWNER CHOOSES TO SALVAGE EXCESS TOPSOIL FOR FUTURE USE. SILT FENCE SHALL BE PLACED AROUND STOCKPILE.
- ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
- THE LOCAL MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL HAVE A TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING.
- THE LOCAL MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES IF NEEDED.
- GRADES AT BUILDING EDGE SHALL BE 6" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.

GRADING LEGEND:



L 21

unp la

Merrin

Con

Merrin

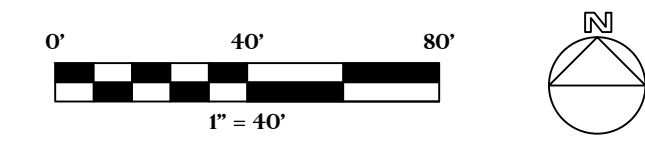
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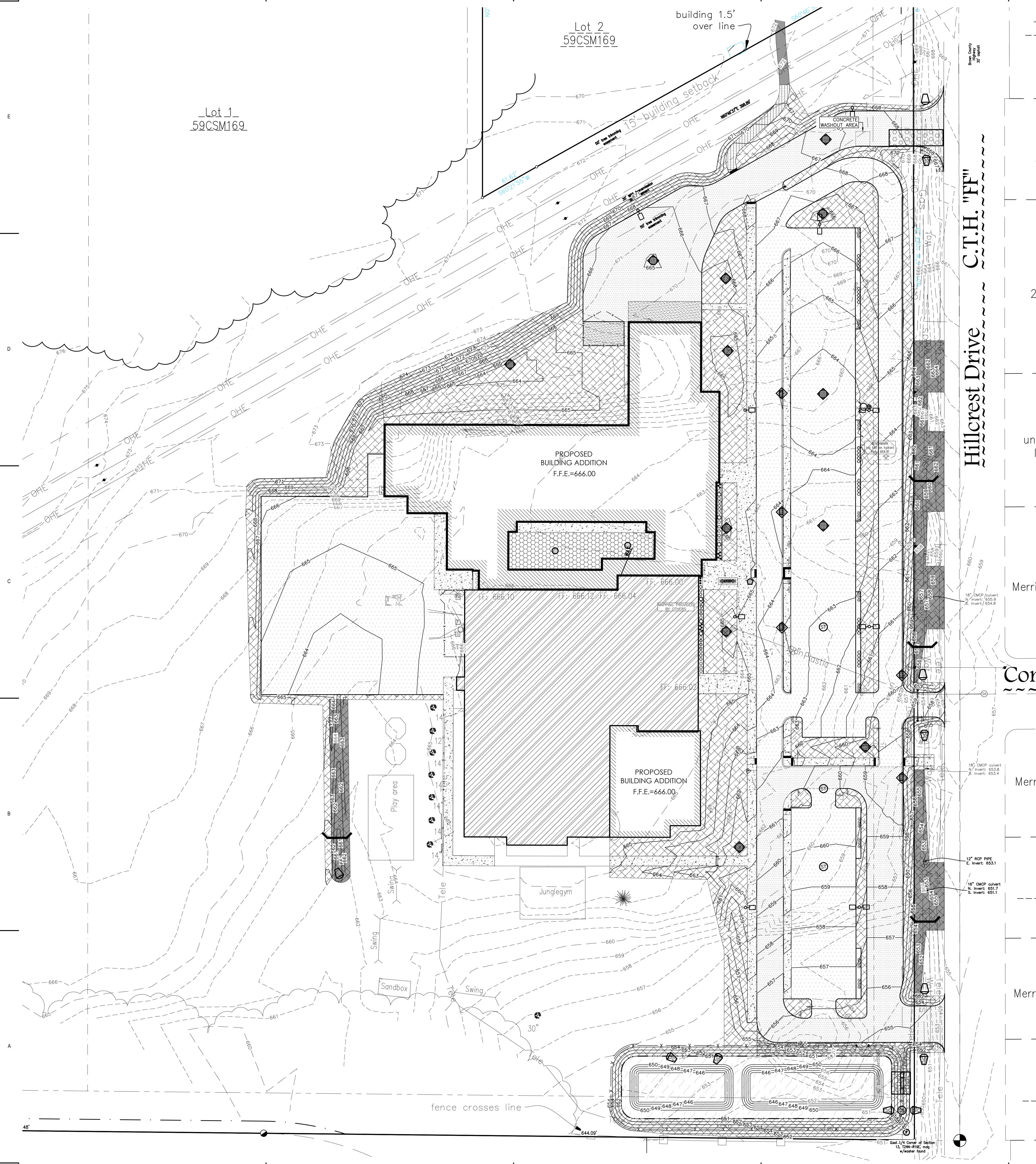
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**GRADING
PLAN**

Sheet Number:
C3.0

Lot 2
59CSM169

Lot 1
59CSM169

building 1.5'
over line



GENERAL NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. NOTIFY THE LOCAL MUNICIPALITY AT LEAST 2 WORKING DAYS PRIOR TO THE START OF SOIL DISTURBING ACTIVITIES.
3. INSTALL ALL TEMPORARY EROSION CONTROL ELEMENTS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
4. ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
5. CRUSHED ROCK DRIVES FOR SEDIMENT TRACKING UTILIZING 3" CRUSHED ROCK SHALL BE MAINTAINED AT ALL CONSTRUCTION ENTRANCES TO THE SITE. THE ROCK DRIVE SHALL BE A MINIMUM OF 12" THICK AND BE A MINIMUM OF 50 FEET IN LENGTH BY THE WIDTH OF THE DRIVEWAY.
6. OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES, INCLUDING SOIL TRACKED BY CONSTRUCTION TRAFFIC, SHALL AT A MINIMUM BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED IMMEDIATELY. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM ADJACENT STREETS BY THE USE OF MECHANICAL OR MANUAL SWEEPING OPERATIONS ONCE A WEEK AT A MINIMUM AND BEFORE IMMINENT RAIN EVENTS.
7. DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREAS, INCLUDING SOIL STOCKPILES, THAT ARE LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER APPROVED METHODS.
8. WASTE MATERIAL THAT IS GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO RECEIVING WATERS.
9. EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF EACH WORK DAY.
10. INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER ANY RAINFALL OF 0.5" OR MORE. MAKE NEEDED REPAIRS AND DOCUMENT ALL ACTIVITIES AS PER THE REQUIREMENTS OF THE NOTICE OF INTENT SUBMITTED BY THE PROJECT CIVIL ENGINEER.
11. ALL TEMPORARY EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF VEGETATION IS ESTABLISHED AND THEN BE REMOVED AS PART OF THE BASE BID.
12. IF SEDIMENT LADEN WATER NEEDS TO BE REMOVED FROM THE SITE, FILTER BAGS OR SCREENING SHALL BE USED IN ACCORDANCE WITH WI DNR TECHNICAL STANDARD 1061 TO PREVENT SEDIMENT DISCHARGE TO THE MAXIMUM EXTENT PRACTICABLE.
13. COORDINATE ALL EARTHWORK ACTIVITIES WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
14. PROVIDE RIP RAP AT ALL CULVERT OUTFLOW ENDWALL STRUCTURES TO PREVENT WASHOUT AND EROSION.
15. INSTALL WISDOT TYPE HR FILTER FABRIC BENEATH ALL RIP RAP.
16. IF BARE SOIL IS EXPOSED DURING THE WINTER MONTHS, STABILIZATION BY MULCHING OR ANIONIC POLYACRYLAMIDE SHALL OCCUR PRIOR TO SNOWFALL OR GROUND FREEZE.
17. SILT FENCE SHALL BE INSTALLED AROUND THE TOPSOIL STOCKPILE.
18. THE CONTRACTOR SHALL PERFORM INSPECTIONS AND MONITORING OF EROSION CONTROL PRACTICES IN ACCORDANCE WITH THE WI DNR "CONSTRUCTION SITE INSPECTION REPORT" FORM 3400-187. THIS FORM CAN BE FOUND IN THE CONSTRUCTION SPECIFICATIONS.

EROSION CONTROL LEGEND:

EXISTING CONTOUR	888	
PROPOSED CONTOUR	888	
PROPOSED SILT FENCE	□	2 C6.2
PROPOSED INLET PROTECTION	◆	3 C6.2
EROSION CONTROL BLANKET	▨	1 C6.2
EROSION CONTROL BLANKET (CHANNEL FLOW)	▩	6 C6.3
ROCK CONSTRUCTION ENTRANCE	⊙	4 C6.2
TEMPORARY DITCH CHECK	—	5 C6.3
RIP RAP AREA	⊘	6 C6.2

EROSION CONTROL SEQUENCING:

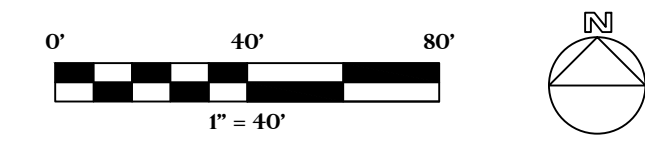
1. INSTALL PERIMETER EROSION CONTROL
2. BEGIN DEMOLITION
3. BEGIN ROUGH GRADING AND UTILITY INSTALLATION
4. DURING GRADING ACTIVITIES EXISTING GRASS AND VEGETATION, TO BE REMOVED, SHALL REMAIN IN PLACE FOR AS LONG AS POSSIBLE, TO AVOID SEDIMENT TRANSPORT.
5. TEMPORARY STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
6. FINAL STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING ACTIVITIES CEASE AND FINAL GRADE HAS BEEN REACHED ON ANY PORTION OF THE SITE.
7. IF DISTURBED AREAS MUST BE LEFT OVER WINTER, AN ANIONIC POLYACRYLAMIDE SHALL BE APPLIED TO ALL DISTURBED AREAS PRIOR TO GROUND FREEZE. SEE SPECIFICATIONS FOR DETAILS.

BENCHMARK:

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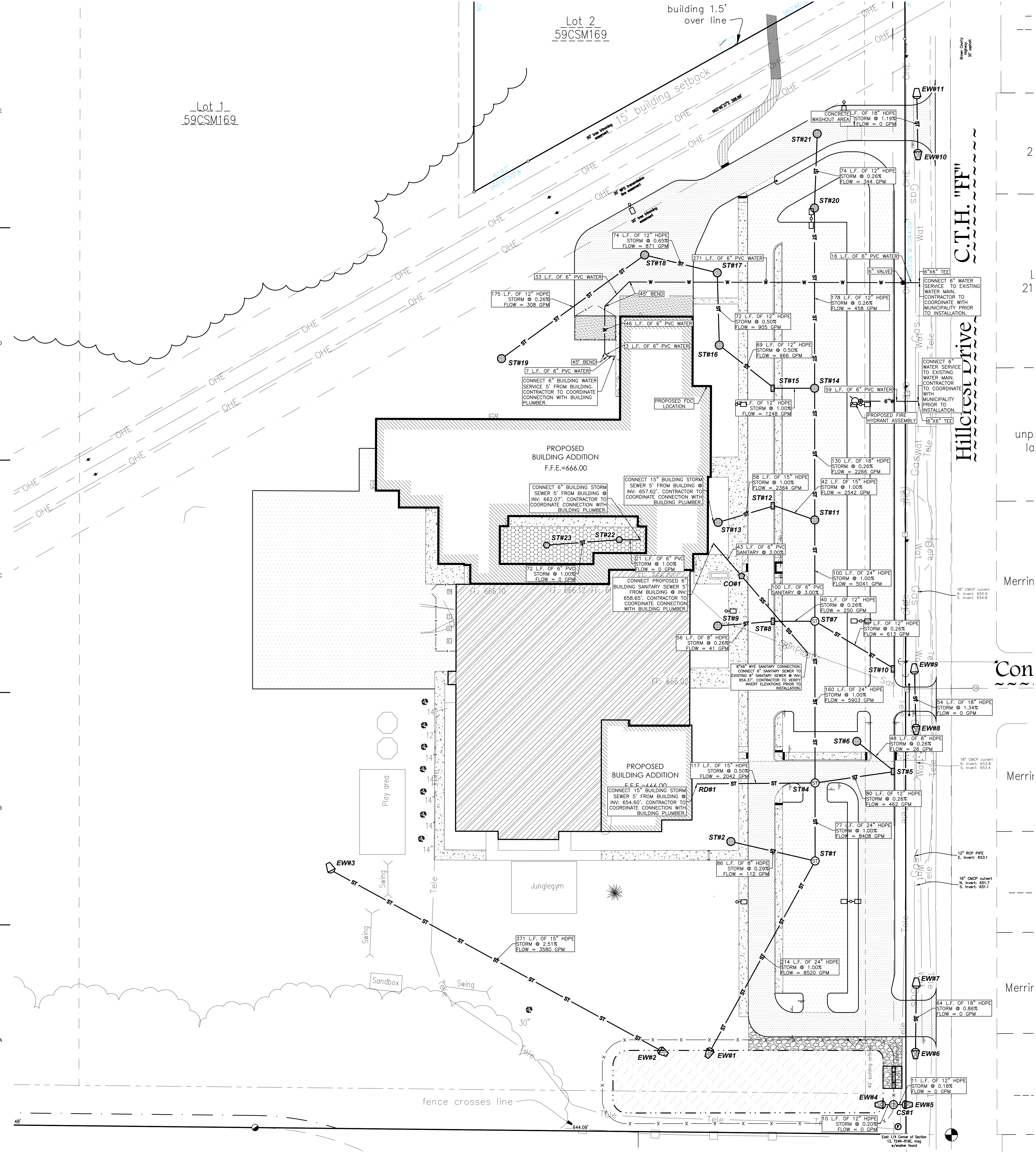
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**EROSION
CONTROL
PLAN**

Sheet Number:
C4.0

Lot 1
59CSM169

Lot 2
59CSM169

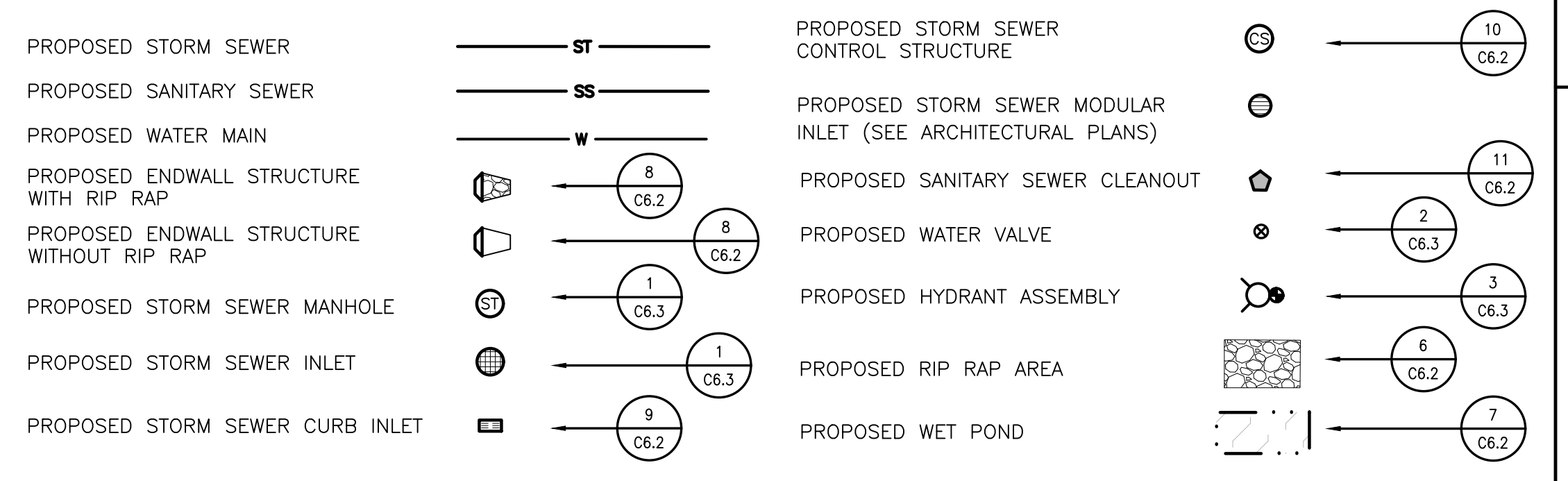
building 1.5'
over line



GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
- REFER TO THE PROPOSED BUILDING MECHANICAL/PLUMBING PLANS TO VERIFY EXACT CONNECTION LOCATIONS AND SIZES OF PROPOSED SANITARY SEWER AND WATER LATERALS.
- COORDINATE ALL UTILITY WORK WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
- COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAY WITH THE LOCAL MUNICIPALITY.
- ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
- THE PROPOSED WATER MAIN SHALL HAVE A MINIMUM COVER OF 7'-6" TO THE TOP OF PIPE FROM PROPOSED FINISHED GRADE. SEE SHEET C3.0 FOR PROPOSED FINISHED GRADE.
- THE MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY, AND PRIOR TO CONNECTING SANITARY SEWER AND WATER LATERALS TO THE PUBLIC MAINS.
- THE CONTRACTOR SHALL HAVE A TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING.
- THE MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES, IF NEEDED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, INSTALLATION, AND PERMITTING OF THE WELL.
- FIELD VERIFY INVERT ELEVATION OF THE SANITARY SEWER AND WATER PUBLIC MAIN, AT THE LOCATION OF THE SERVICE LATERAL CONNECTIONS, PRIOR TO CONNECTING THE LATERALS TO THE PUBLIC MAIN.
- PROVIDE RIP RAP AT ALL STORM ENDWALLS TO PREVENT WASHOUT AND EROSION.
- INSTALL WisDOT TYPE HR FILTER FABRIC BENEATH PROPOSED RIP RAP.

UTILITY LEGEND:



ENDWALL SCHEDULE:

STRUCTURE #	STRUCTURE DETAILS
EW#1	INV (NE) = 651.00 ENDWALL RR
EW#2	INV (NW) = 651.00
EW#3	INV (SE) = 660.30
EW#4	INV (E) = 651.00
EW#5	INV (W) = 650.96
EW#6	INV (N) = 647.51 ENDWALL RR
EW#7	INV (S) = 648.06 ENDWALL
EW#8	INV (N) = 651.40 ENDWALL RR
EW#9	INV (S) = 652.12 ENDWALL
EW#10	INV (N) = 665.39 ENDWALL RR
EW#11	INV (S) = 666.04 ENDWALL

STORM MANHOLE SCHEDULE:

STRUCTURE #	STRUCTURE DETAILS	STRUCTURE #	STRUCTURE DETAILS
CS#1	RIM = 654.00 INV (W) = 650.98 INV (E) = 650.98 DEPTH = 3.02' CONTROL STRUCTURE	ST#13	RIM = 664.81 INV (E) = 657.62 DEPTH = 7.19' 48" I.D. PRECAST MANHOLE W/NEENAH R-2553 CASTING W/TYPE 'G' GRATE
ST#1	RIM = 659.51 INV (N) = 653.14 INV (W) = 653.24 INV (SW) = 653.14 DEPTH = 6.37'	ST#14	RIM = 663.10 INV (N) = 656.86 INV (W) = 656.96 INV (S) = 656.86 DEPTH = 6.25'
ST#2	RIM = 661.01 INV (E) = 653.49 DEPTH = 7.52'	ST#15	RIM = 663.92 INV (W) = 657.36 INV (E) = 657.36 DEPTH = 5.00'
ST#4	RIM = 660.44 INV (N) = 653.91 INV (E) = 654.01 INV (W) = 654.01 INV (S) = 653.91 DEPTH = 6.52'	ST#16	RIM = 664.07 INV (N) = 657.70 INV (SE) = 657.70 DEPTH = 6.36'
ST#5	RIM = 658.35 INV (NW) = 654.22 INV (W) = 654.22 DEPTH = 4.13'	ST#17	RIM = 665.45 INV (W) = 658.06 INV (S) = 658.06 DEPTH = 7.39'
ST#6	RIM = 658.73 INV (SE) = 654.35 DEPTH = 4.39'	ST#18	RIM = 664.86 INV (SW) = 658.54 INV (E) = 658.54 DEPTH = 6.32'
ST#7	RIM = 662.73 INV (N) = 655.52 INV (W) = 655.62 INV (SE) = 655.62 INV (S) = 655.51 DEPTH = 7.22'	ST#19	RIM = 663.42 INV (NE) = 659.00 DEPTH = 4.42'
ST#9	RIM = 664.59 INV (E) = 655.87 DEPTH = 8.73'	ST#20	RIM = 665.56 INV (N) = 657.32 INV (S) = 657.32 DEPTH = 8.24' CATCH BASIN
ST#10	RIM = 660.00 INV (NW) = 655.85 DEPTH = 4.15'	ST#21	RIM = 666.59 INV (S) = 657.51 DEPTH = 9.08'
ST#11	RIM = 663.01 INV (N) = 656.52 INV (W) = 656.62 INV (S) = 656.52 DEPTH = 6.49'	ST#22	RIM = 665.62 INV (E) = 662.28 INV (W) = 662.28 DEPTH = 3.34' SEE ARCHITECTURAL PLANS
ST#12	RIM = 663.77 INV (W) = 657.04 INV (E) = 657.04 DEPTH = 5.00'	ST#23	RIM = 665.57 INV (E) = 663.00 DEPTH = 2.57' SEE ARCHITECTURAL PLANS

CLEAN OUT SCHEDULE:

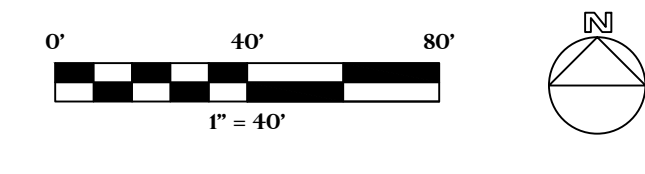
STRUCTURE #	STRUCTURE DETAILS
CO#1	RIM = 665.07 INV (NW) = 657.37 INV (SE) = 657.37

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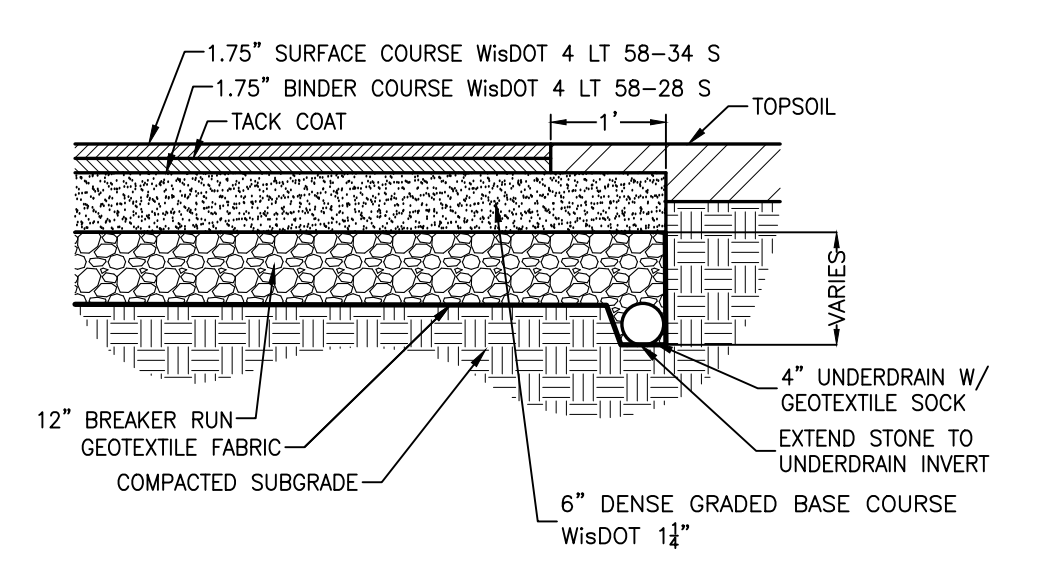
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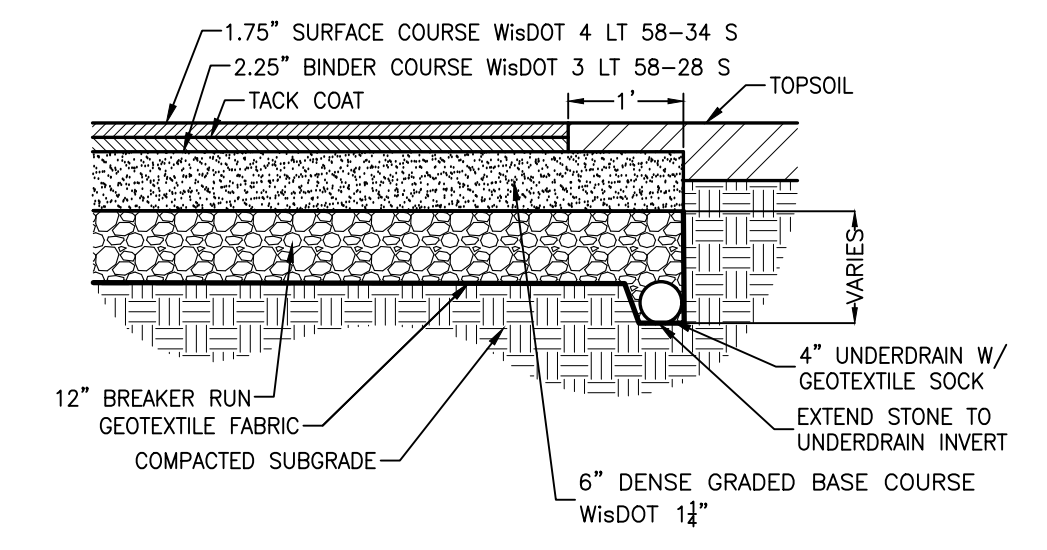
Issued For:
DESIGN DEVELOPMENT

08/01/2023
UTILITY PLAN

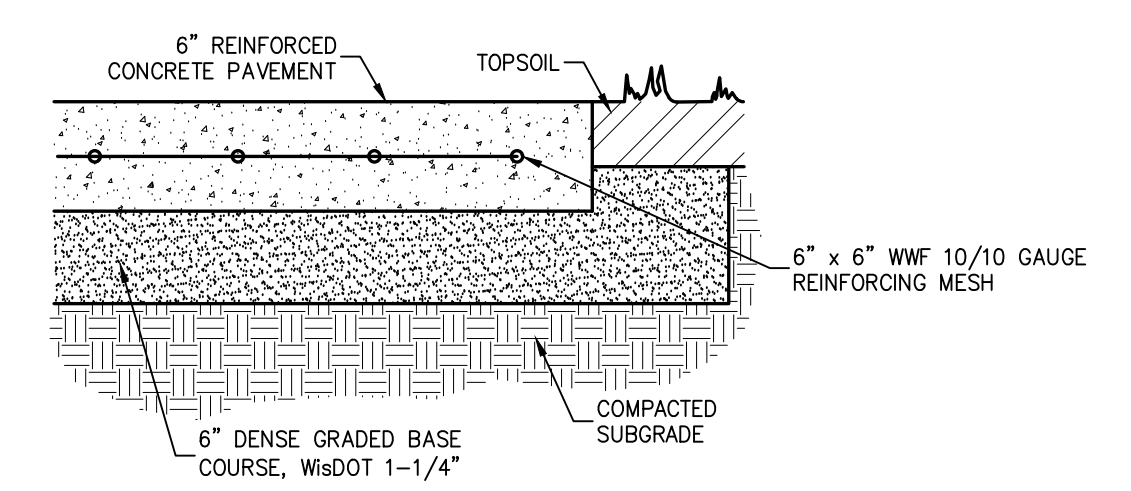
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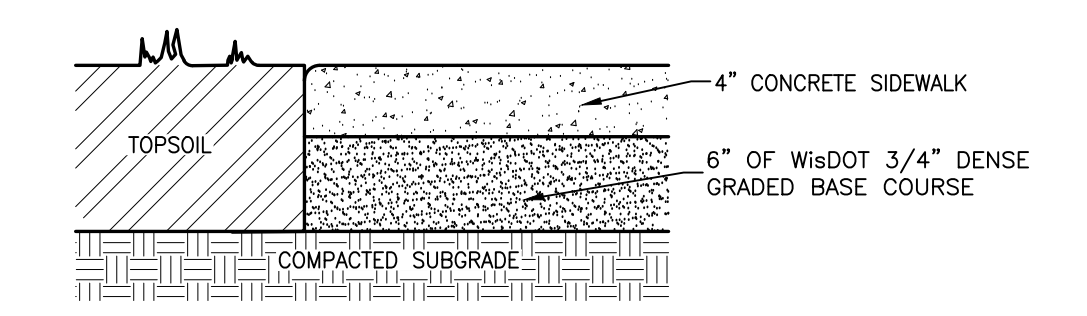
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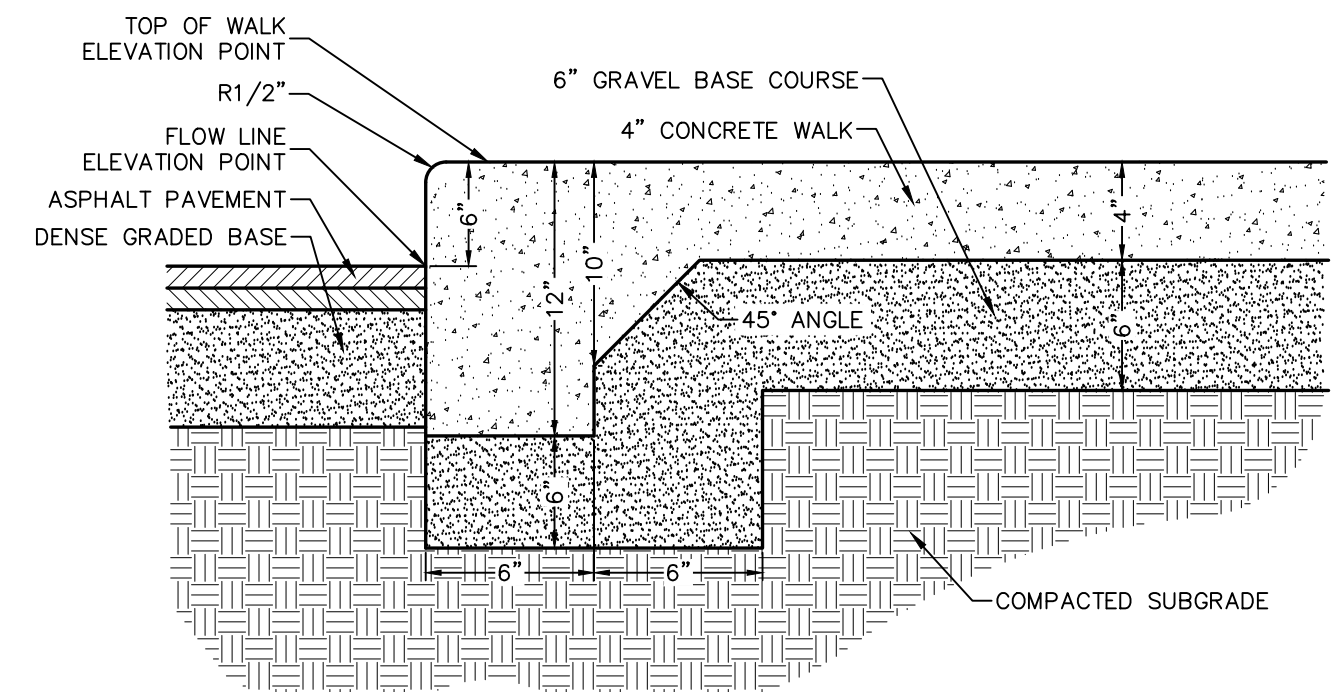
ASPHALT - HEAVY DUTY (2) C6.0



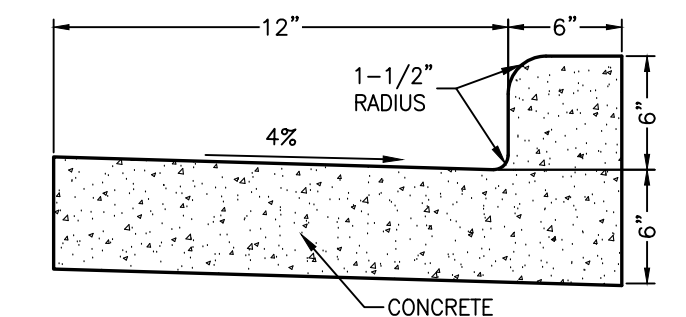
REINFORCED CONCRETE (3) C6.0



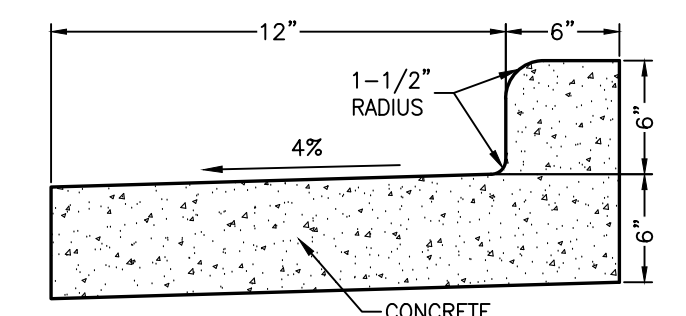
CONCRETE SIDEWALK (4) C6.0



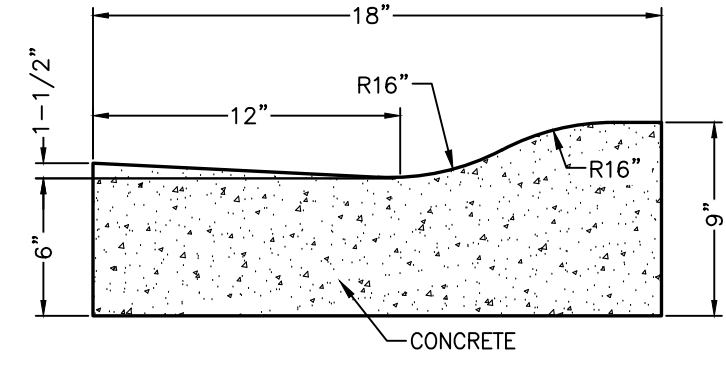
THICKENED EDGE WALK (5) C6.0



STANDARD GUTTER

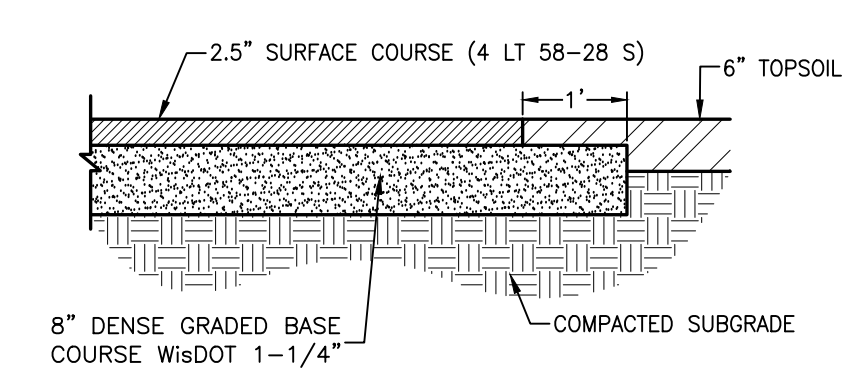


REJECT GUTTER

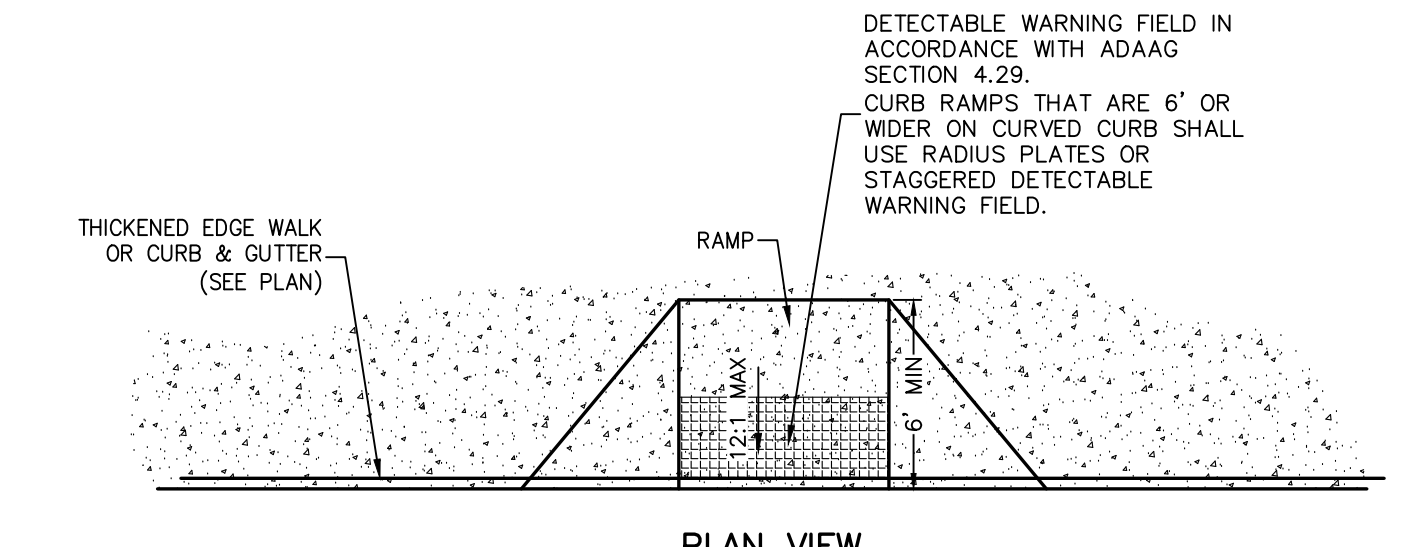


ROLL CURB & GUTTER

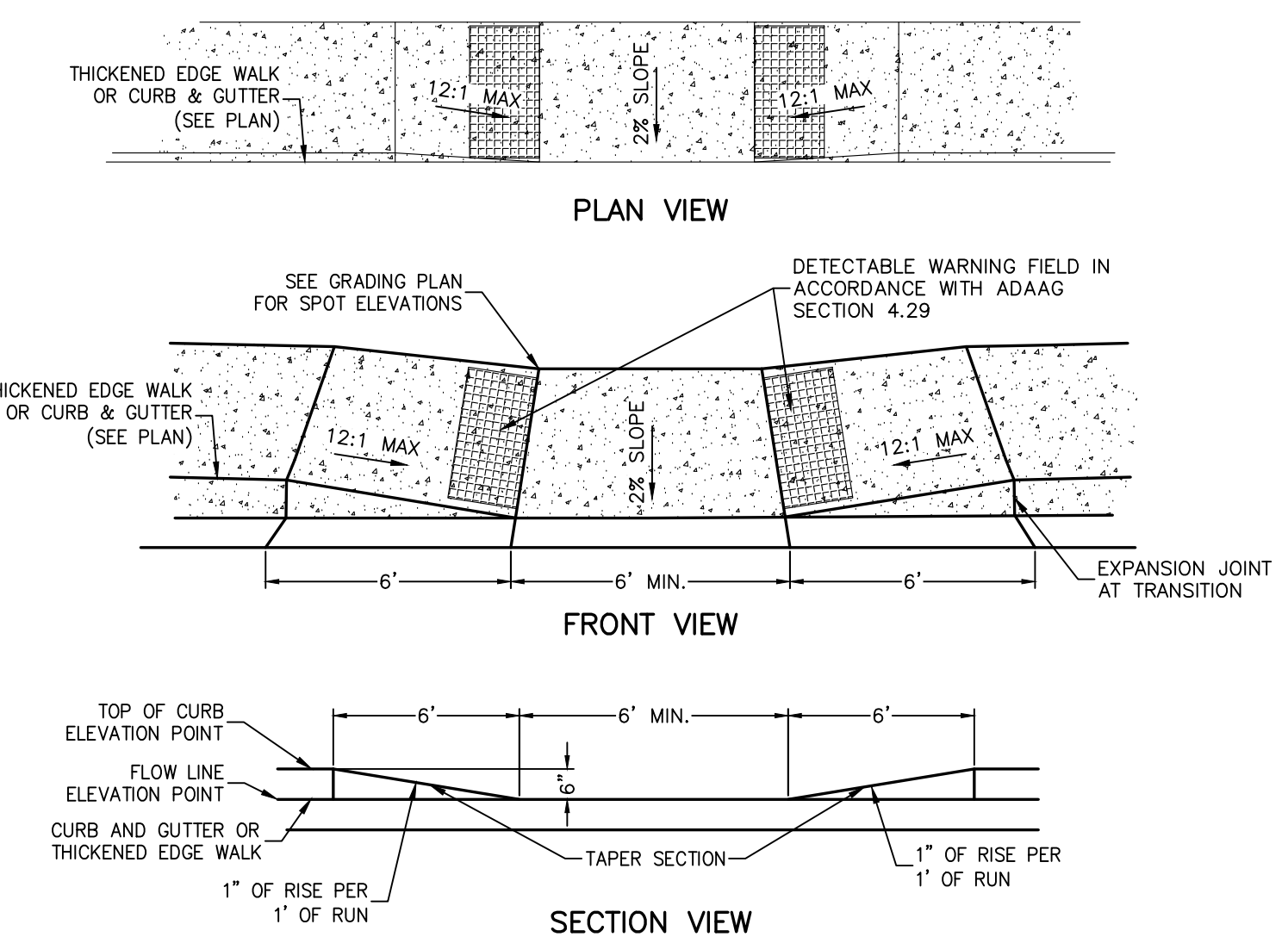
18\" CURB & GUTTER (6) C6.0



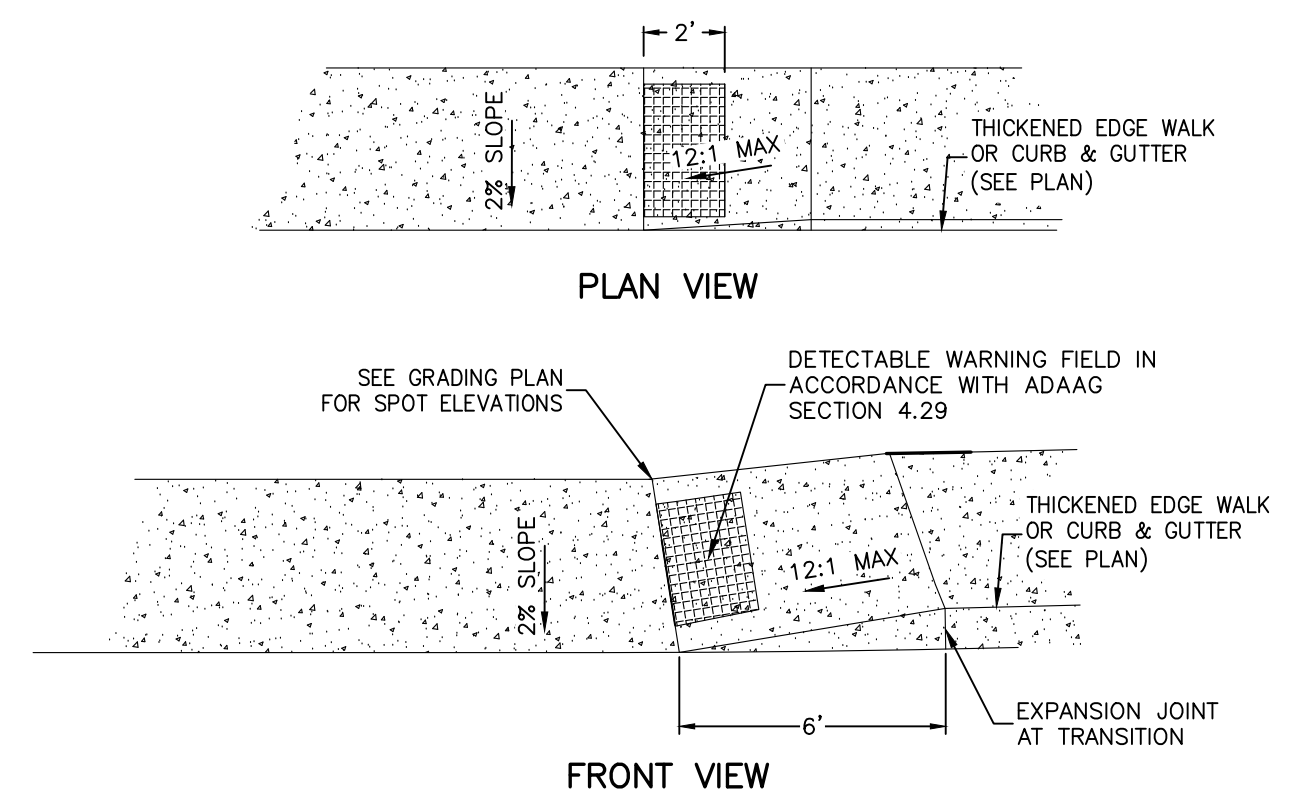
ASPHALT PATH (7) C6.0



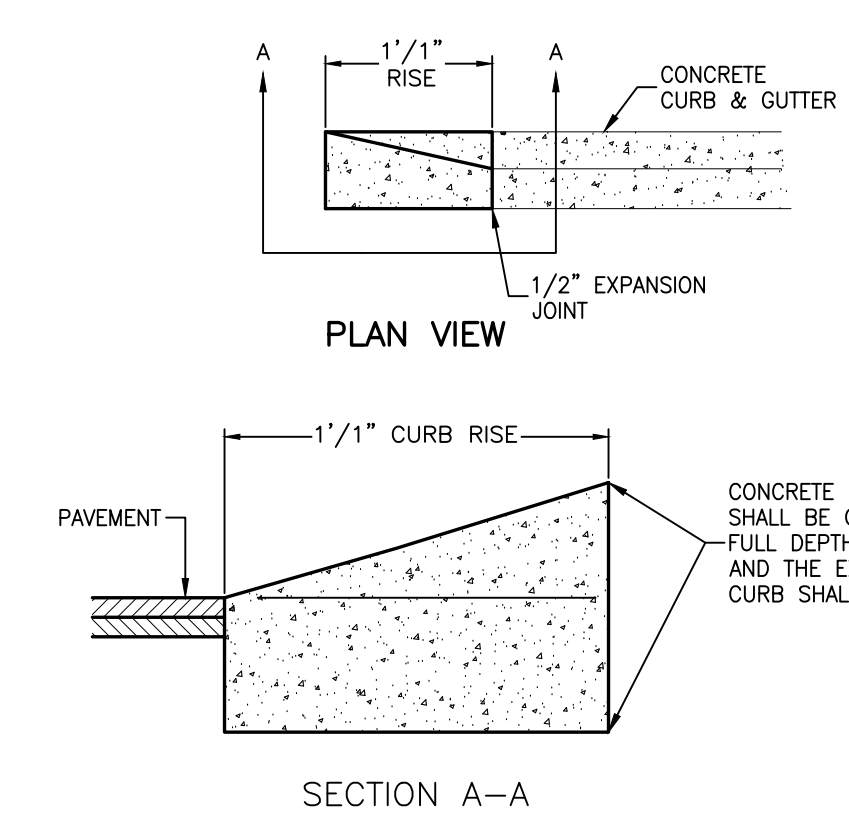
CURB RAMP - STANDARD (8) C6.0



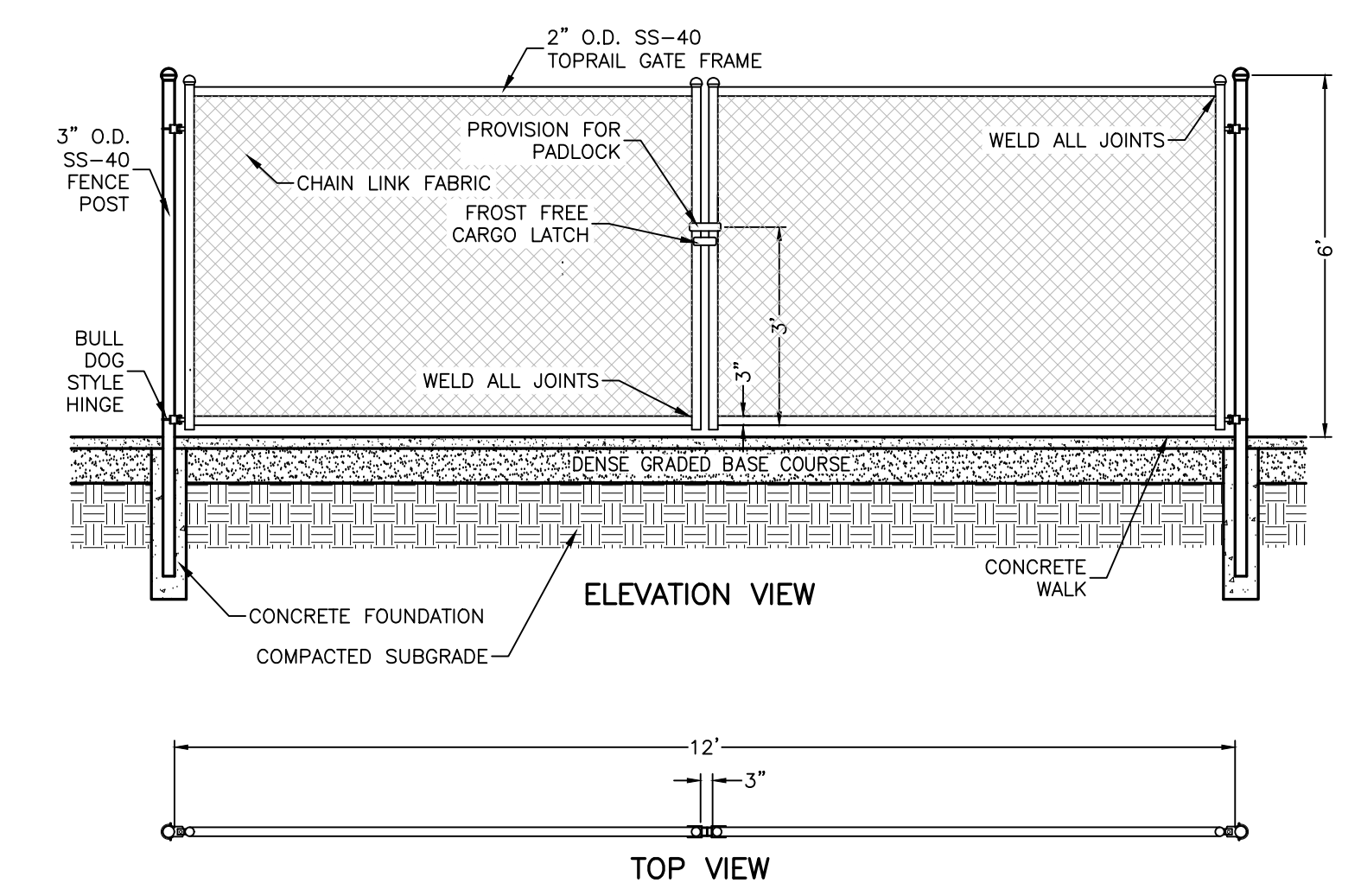
CURB RAMP - MIDDLE OF WALK (9) C6.0



CURB RAMP - SIDEWALK TAPER (10) C6.0

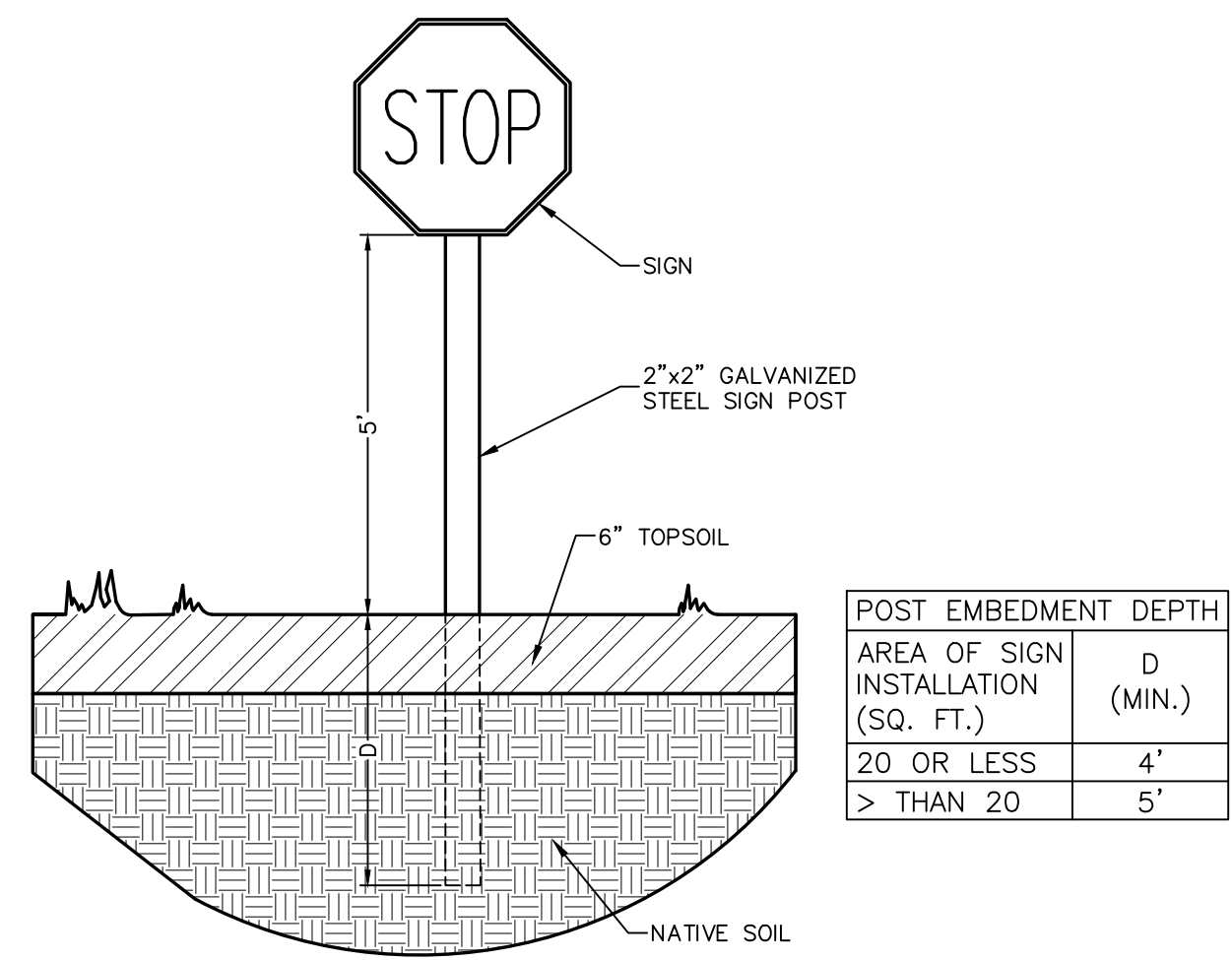


CURB TAPER SECTION (11) C6.0



12\" CHAIN LINK SERVICE GATE (12) C6.0

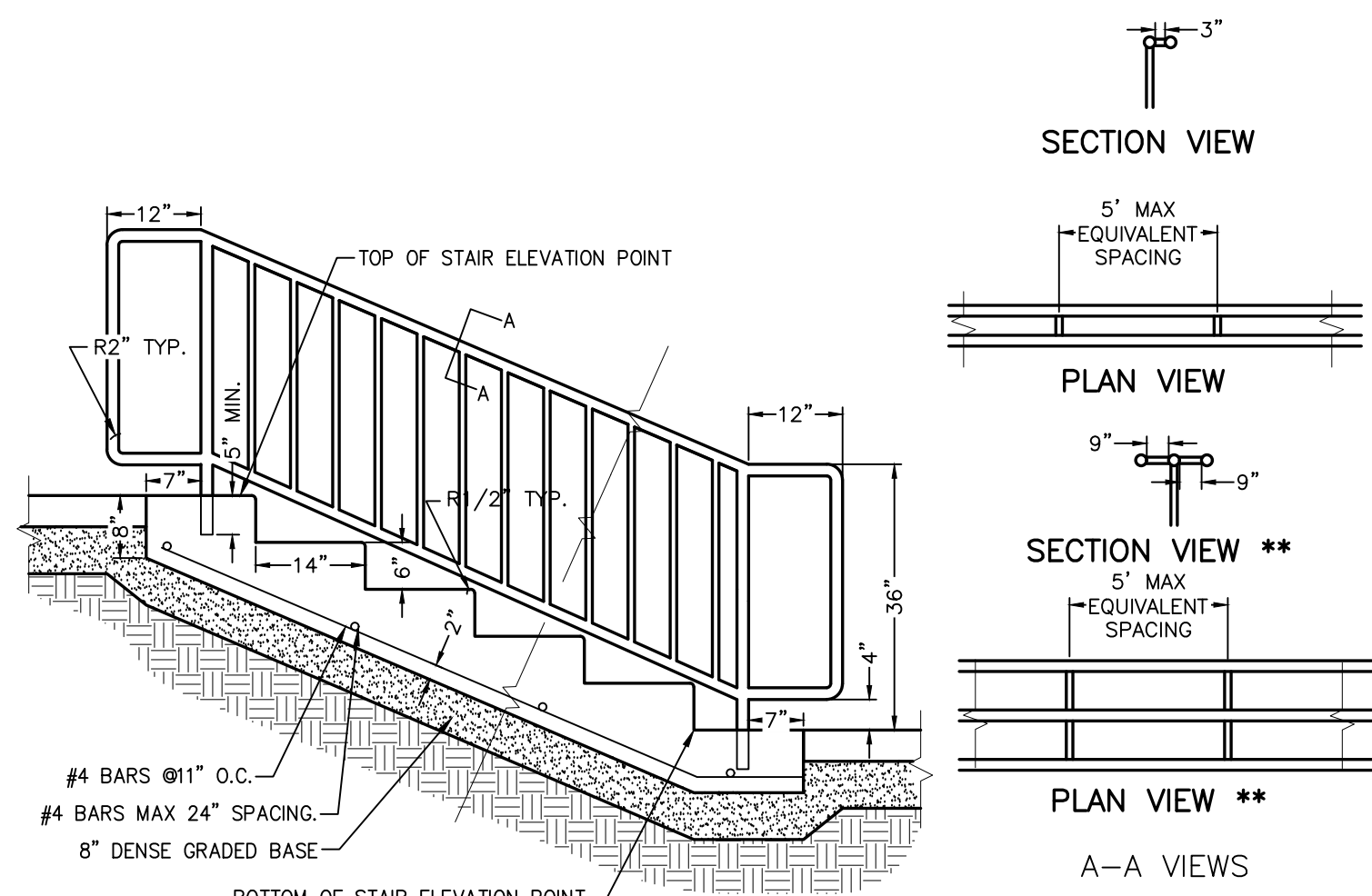
NOTES:
1. SEE LAYOUT PLAN FOR GATE LOCATIONS
2. CHAIN LINK TO BE BLACK VINYL COATED



POST EMBEDMENT DEPTH	D (MIN.)
AREA OF SIGN INSTALLATION (SQ. FT.)	
20 OR LESS	4'
> THAN 20	5'

- NOTES:
- IF APPLICABLE, SIGNS SHALL CONFORM TO MUTCD STANDARDS INCLUDING RETRO REFLECTIVITY STANDARDS.
 - SIGNS SHALL BE EPOXY.
 - SIGNS WIDER THAN 4 FEET OR LARGER THAN 20 SQ. FT. SHALL BE MOUNTED ON MULTIPLE POSTS.

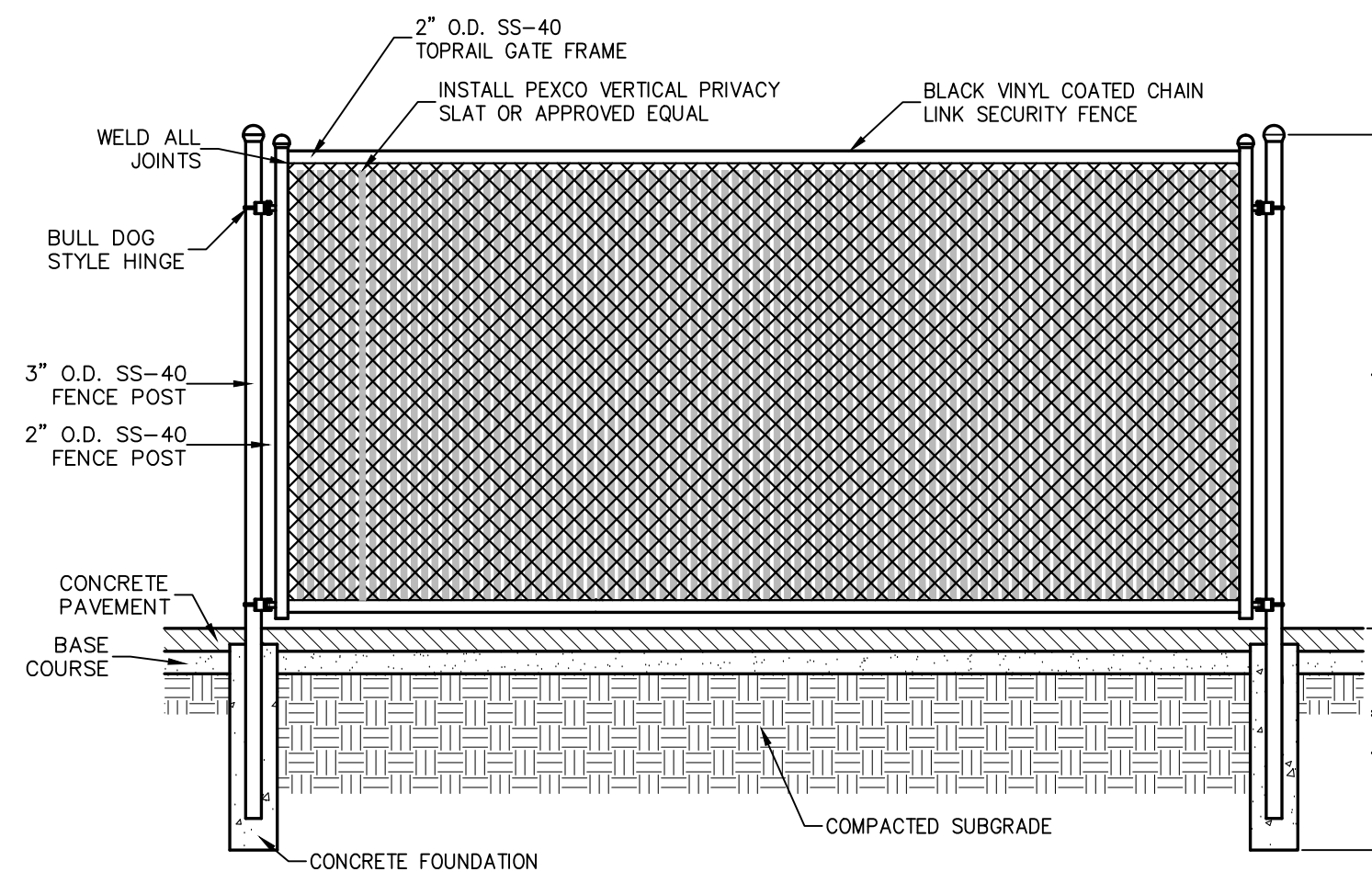
SIGN INSTALLATION



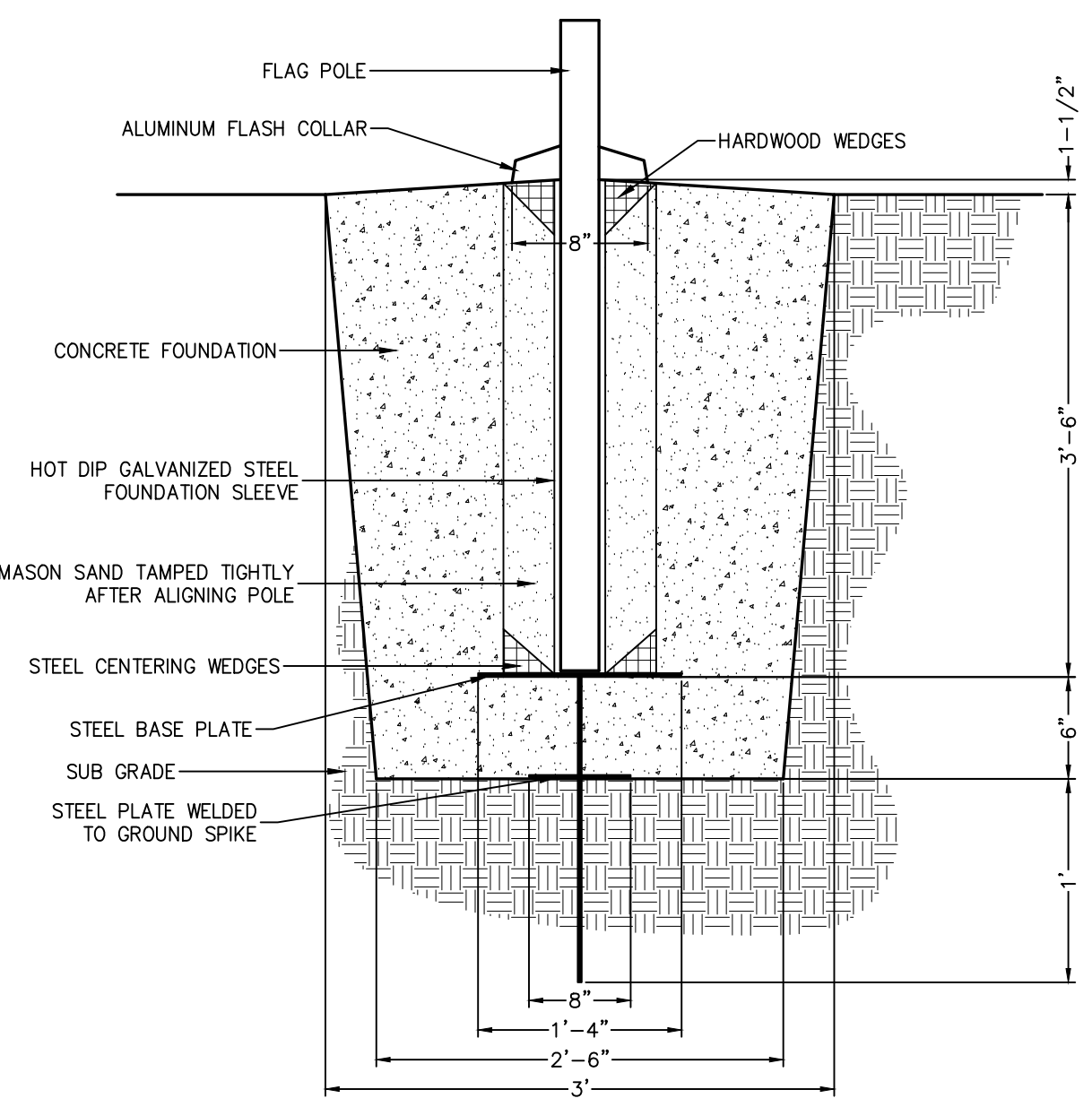
- NOTES:
- USE WAGNER COMPANIES SERIES 550 ALUMINUM HANDRAILS OR APPROVED EQUAL.
 - INSTALL HANDRAIL IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
 - HANDRAILS SHALL BE INSTALLED ON BOTH SIDES OF STAIR SYSTEM.
 - HANDRAIL COLOR SELECTION BY OWNER.
 - ANY WELD JOINTS ON HAND RAIL SHALL BE GROUND SMOOTH.

** THIS STYLE RAILING SHALL BE USED FOR THE INTERMITTENT RAILINGS ON THE STAIRS DIRECTLY NORTH OF THE BLEACHERS. (STAIR 'A')

CONCRETE STEPS & RAILING

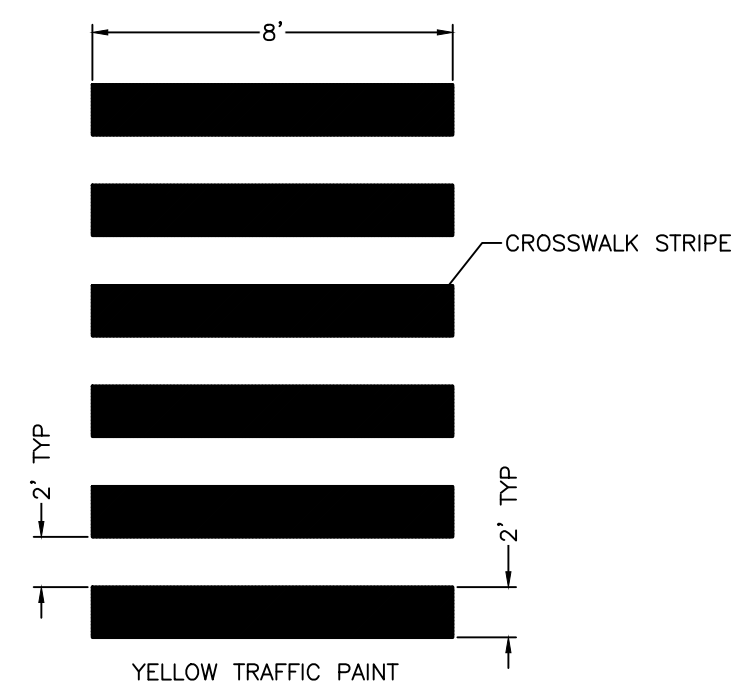


DUMPSTER ENCLOSURE

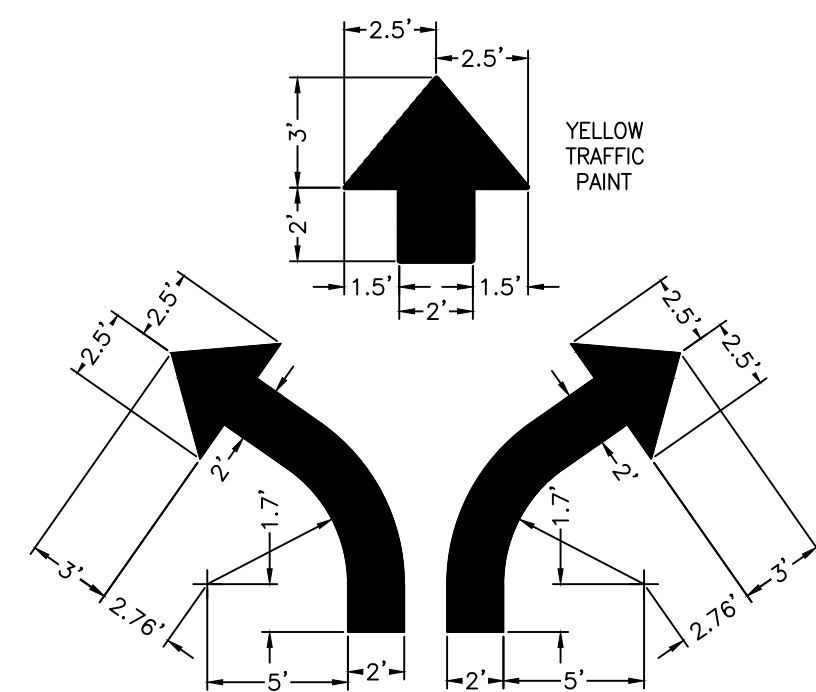


- NOTES:
- INSTALL PER MANUFACTURER'S SPECIFICATIONS
 - INSTALL GROUND SLEEVE, BASE PLATE/GROUND SPIKE AS OBTAINED FROM MANUFACTURER, PER MANUFACTURER'S SPECIFICATIONS

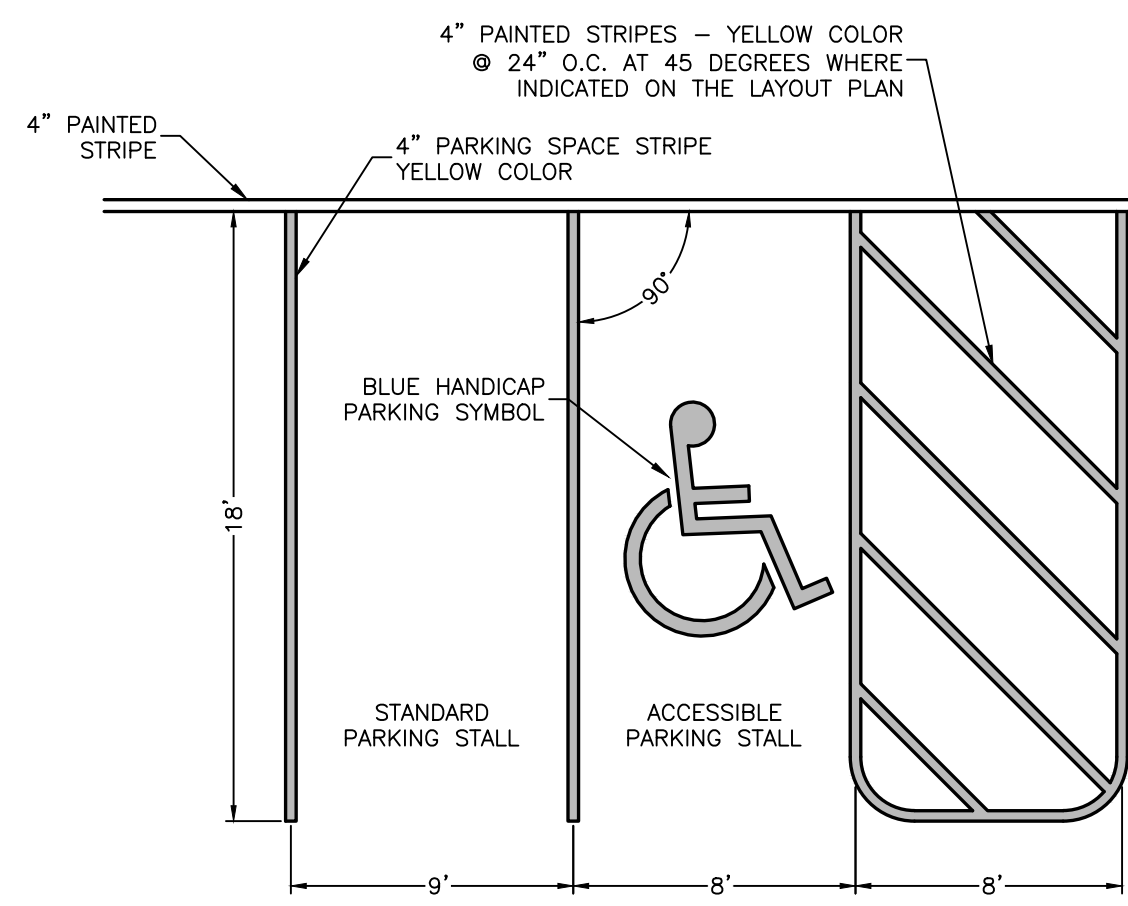
FLAG POLE FOUNDATION



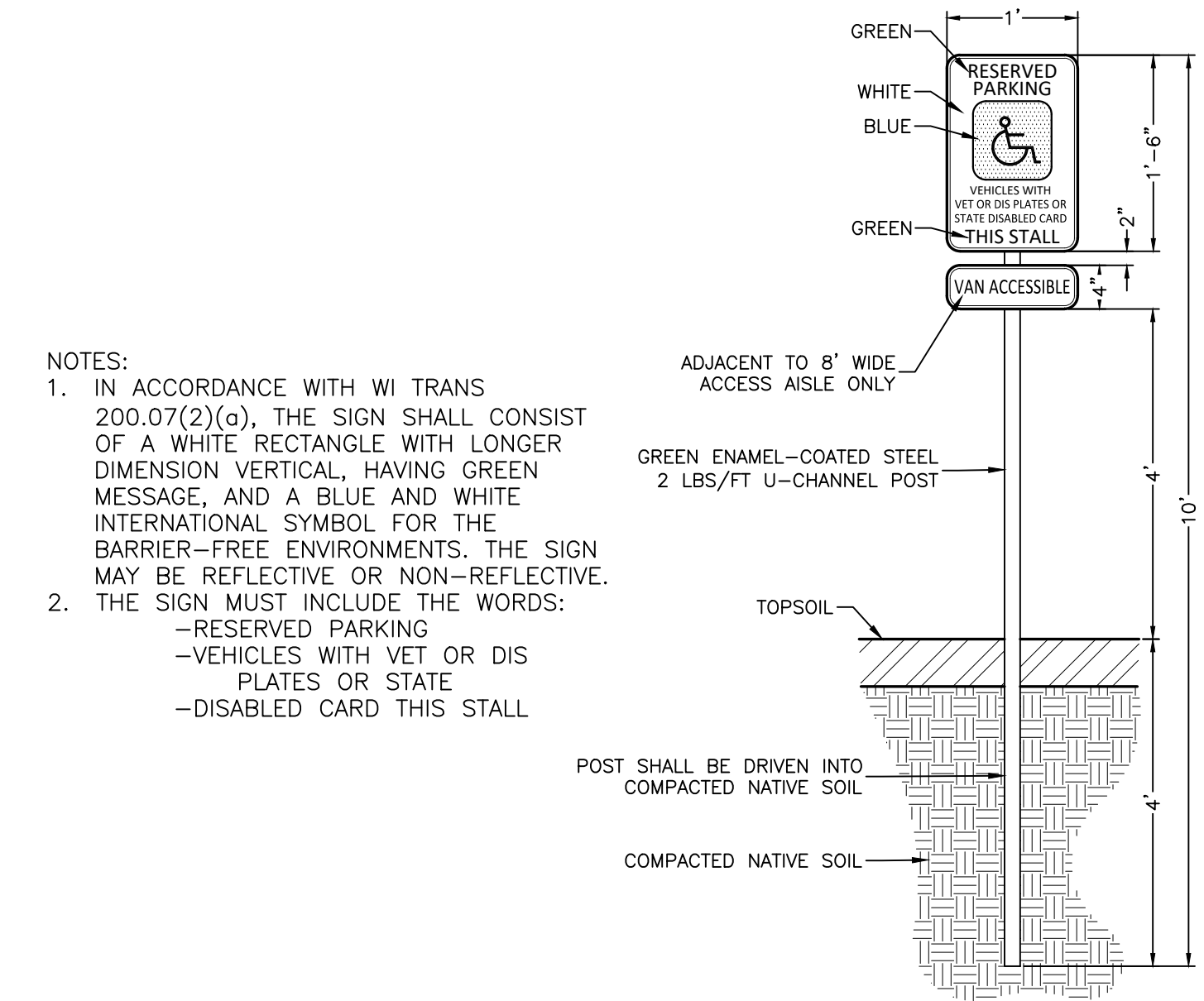
CROSSWALK BARS



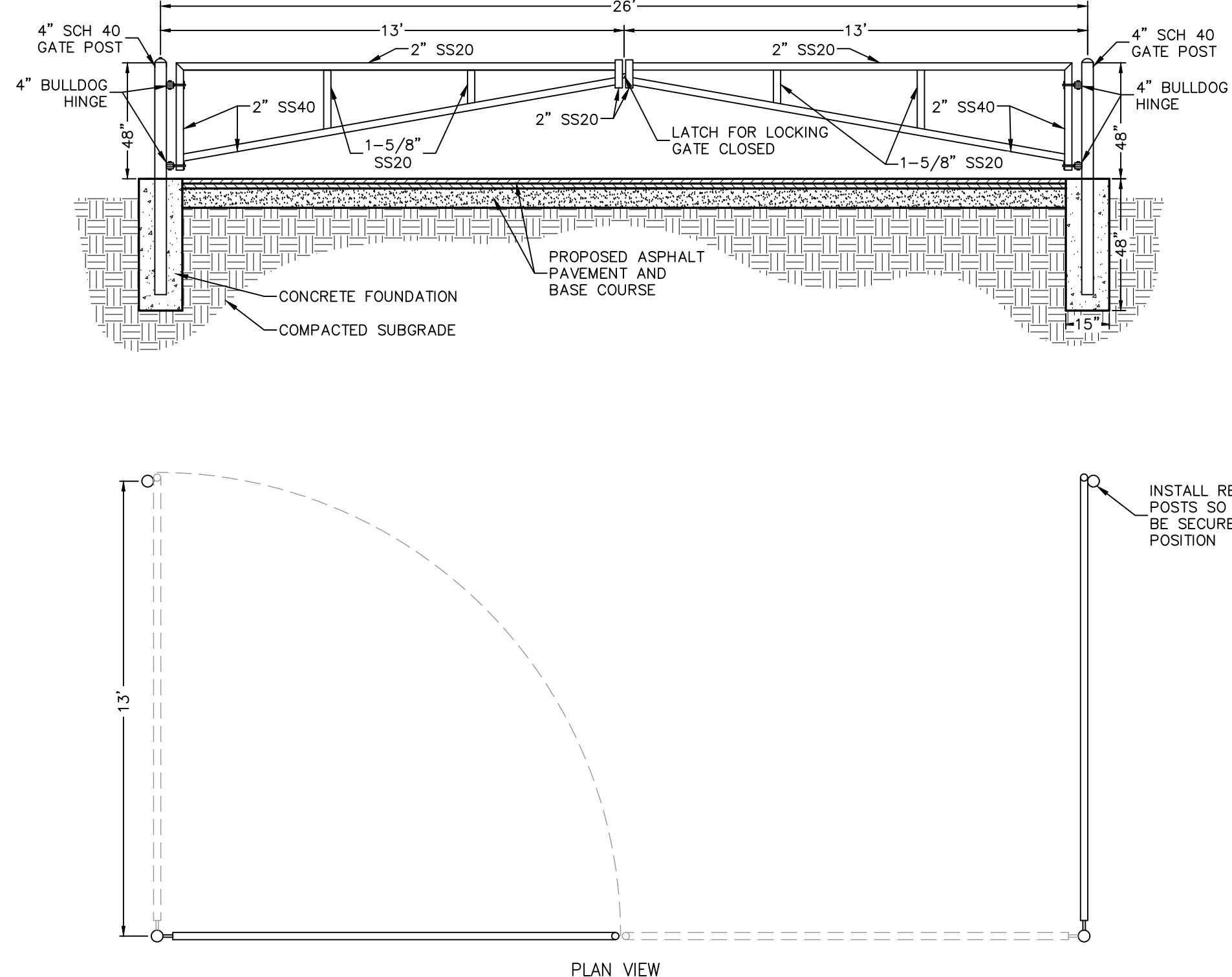
DIRECTIONAL ARROWS



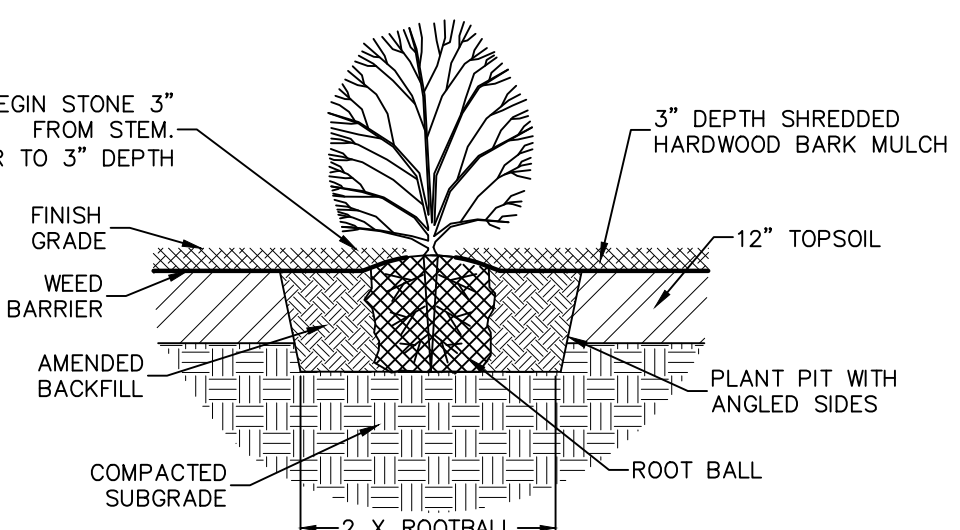
PARKING LOT STRIPING



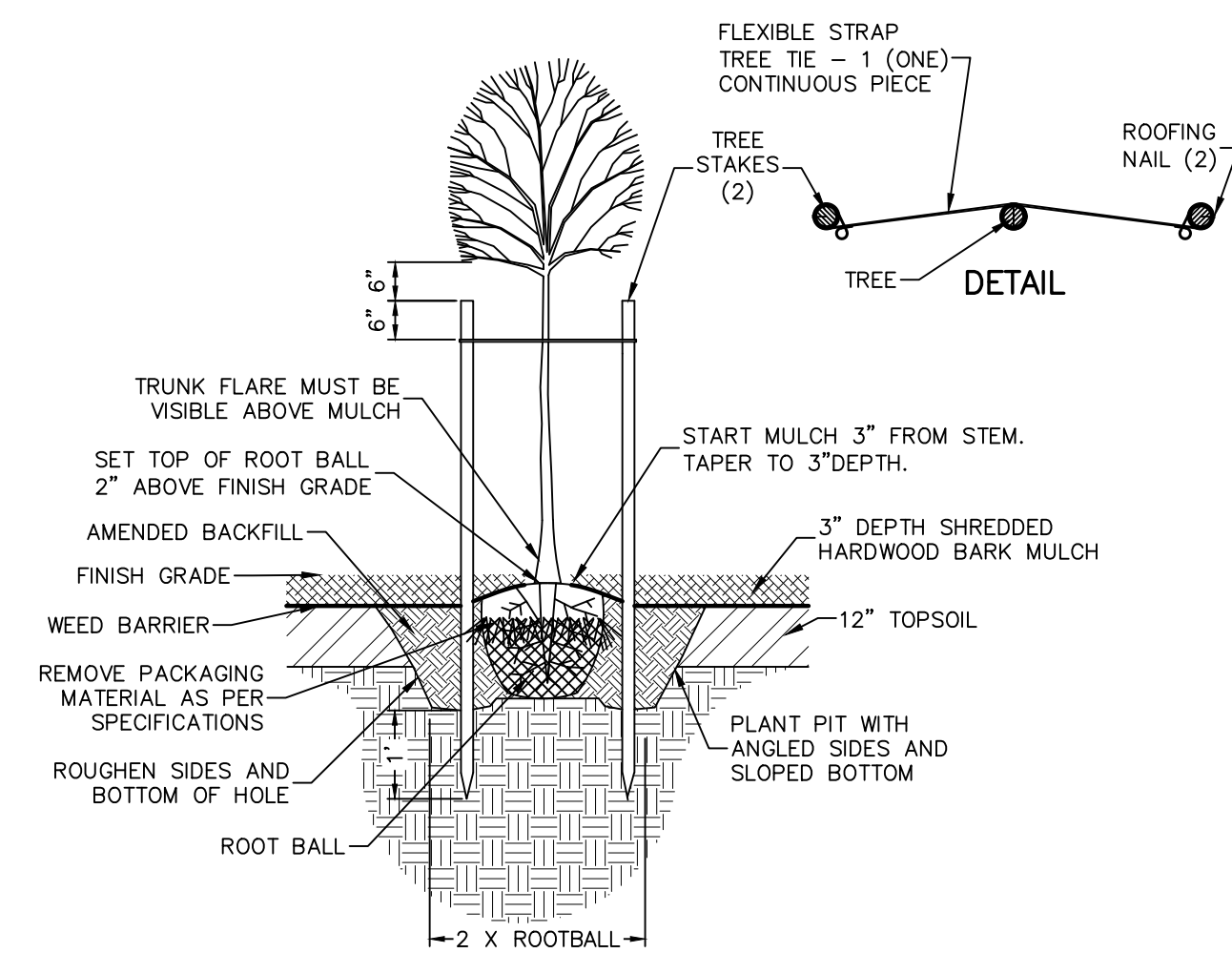
ADA SIGN



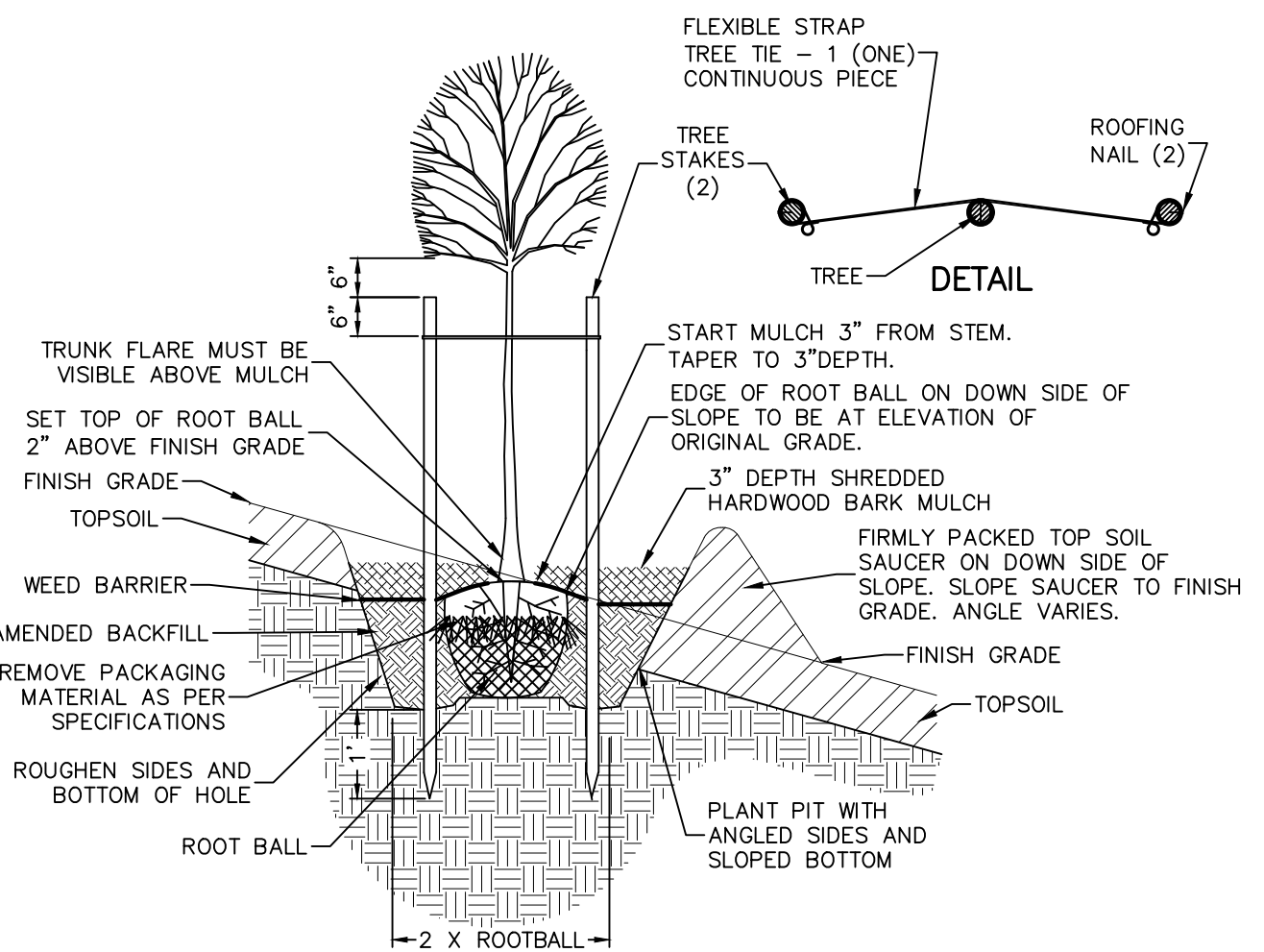
26' SWING GATE



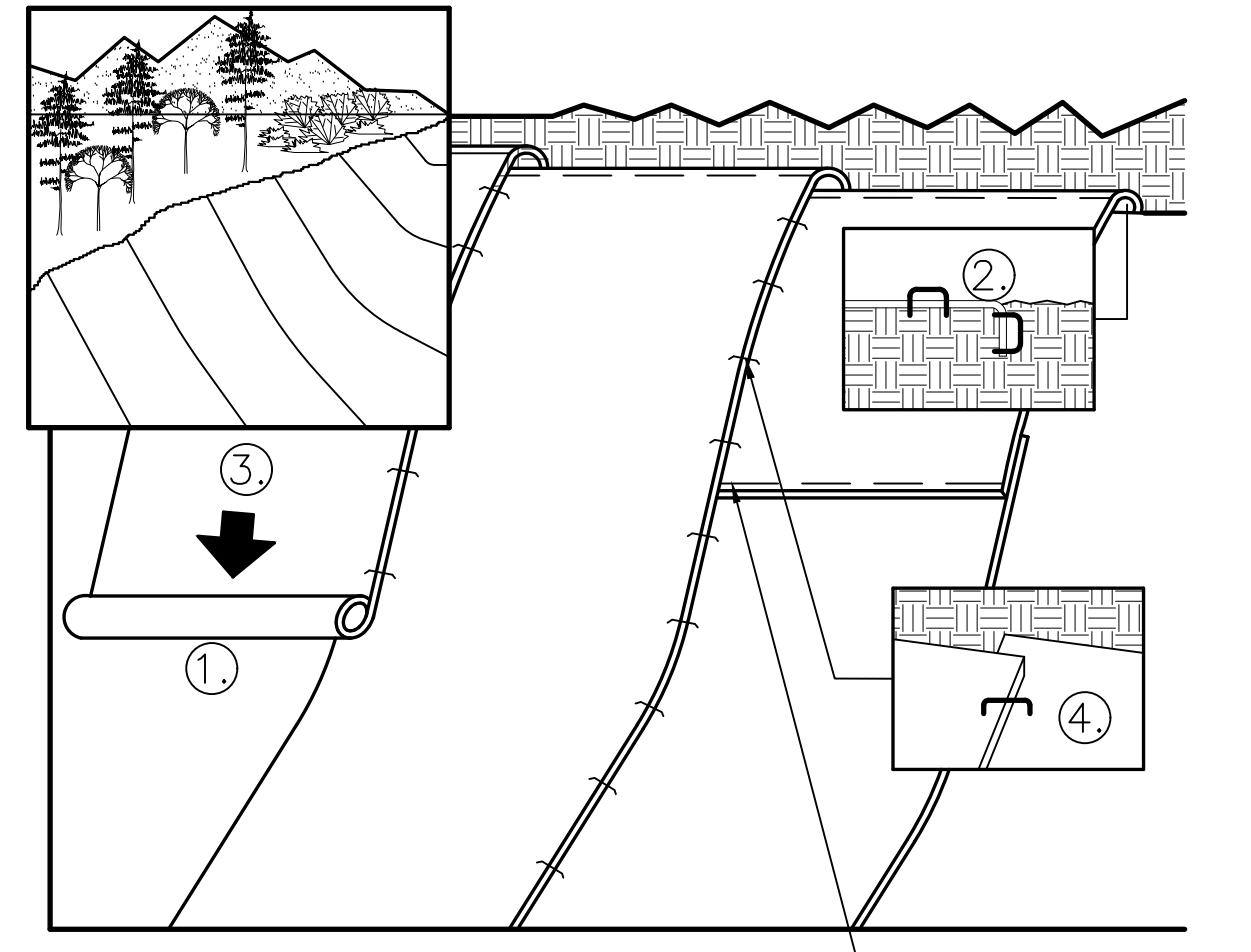
SHRUB PLANTING STANDARD



TREE PLANTING STANDARD

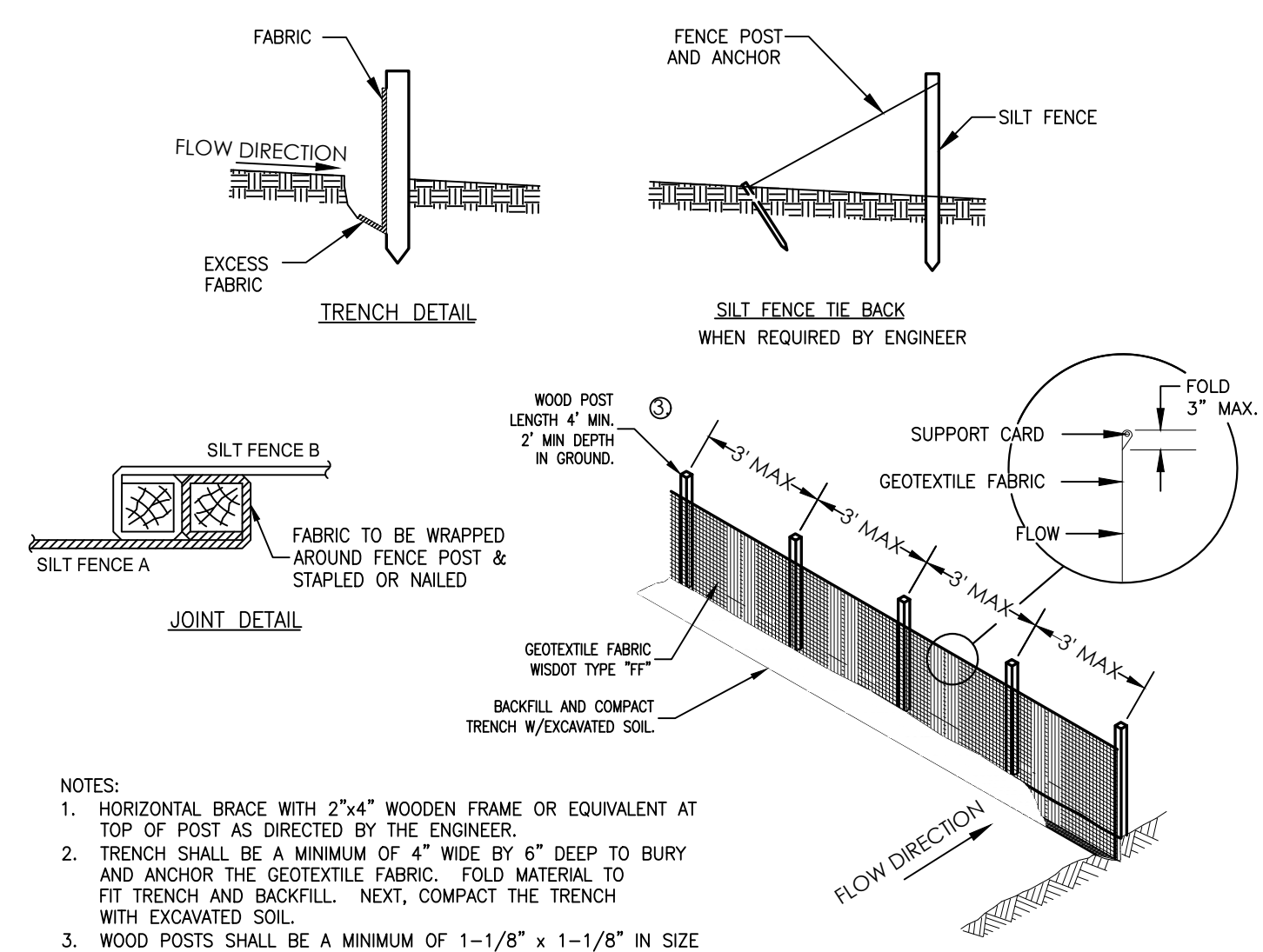


TREE PLANTING ON SLOPE



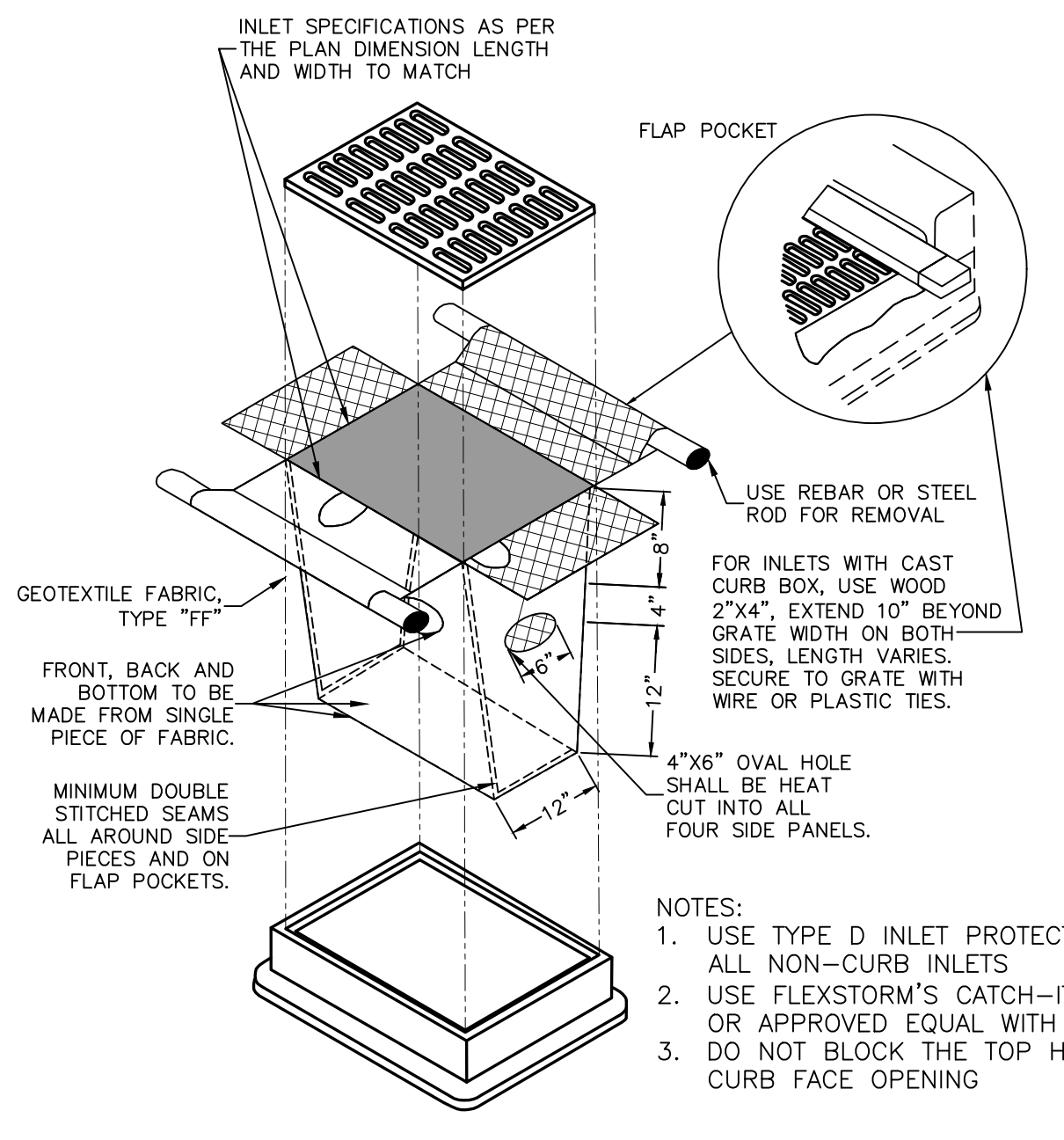
- NOTES:
1. PREPARE SOIL BEFORE INSTALLING MAT, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 3. ROLL THE BLANKETS DOWN THE SLOPE IN THE DIRECTION OF THE WATER FLOW.
 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP. WHEN BLANKETS END OVER END (SINGLE STYLE) WITH APPROXIMATELY 6" OVERLAP. STAPLE THROUGH OVERLAPPED AREA APPROXIMATELY 12" APART.
 5. EROSION CONTROL MAT SHALL BE LISTED ON THE CURRENT WISDOT PRODUCT ACCEPTABILITY LIST (PAL) AS A CLASS 1 TYPE A EROSION MAT.

EROSION CONTROL BLANKET 1
C6.2



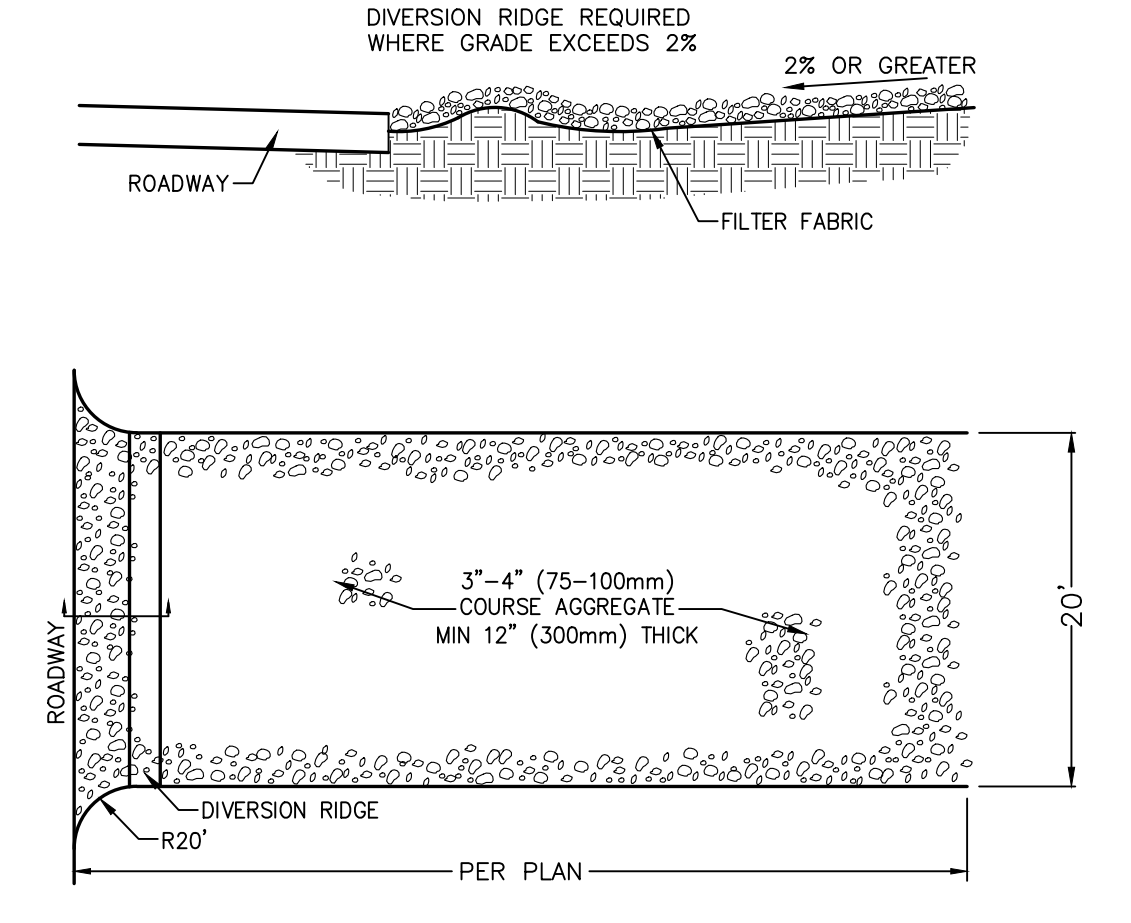
- NOTES:
1. HORIZONTAL BRACE WITH 2"x4" WOODEN FRAME OR EQUIVALENT AT TOP OF POST AS DIRECTED BY THE ENGINEER.
 2. TRENCH SHALL BE A MINIMUM OF 4" WIDE BY 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL. NEXT, COMPACT THE TRENCH WITH EXCAVATED SOIL.
 3. WOOD POSTS SHALL BE A MINIMUM OF 1-1/8" x 1-1/8" IN SIZE AND BE MADE FROM OAK OR HICKORY.
 4. ATTACH THE FABRIC TO THE POST WITH WIRE STAPLES OR WOODEN LATH AND NAILS.
 5. WOOD POSTS SHALL MAINTAIN A 3" MAXIMUM SPACING WHEN USING STANDARD GEOTEXTILE FABRIC. WHEN WOOD GEOTEXTILE FABRIC IS USED, THE WOOD POSTS MAY BE SPACED UP TO 8' APART.

SILT FENCE 2
C6.2



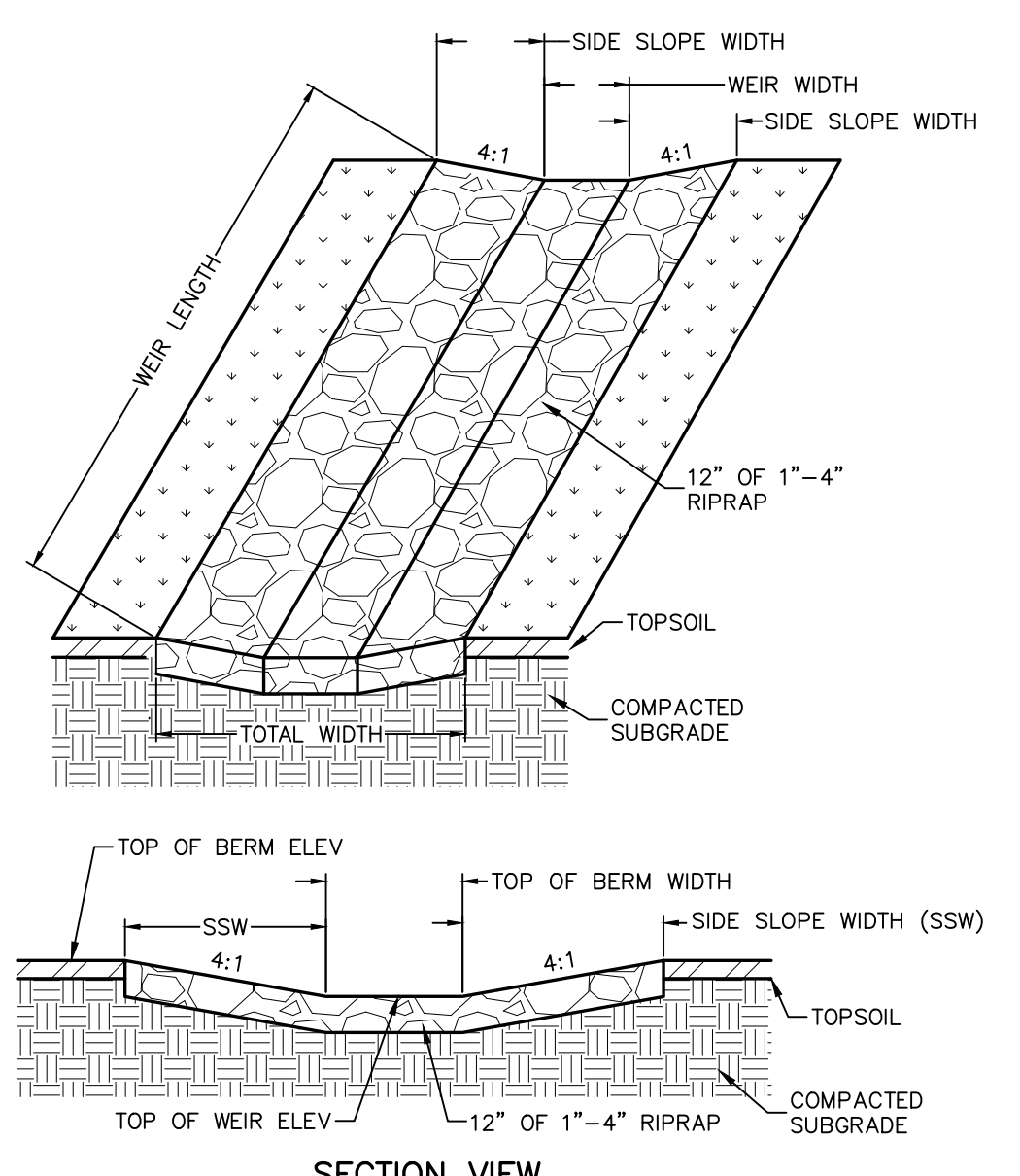
- NOTES:
1. USE TYPE D INLET PROTECTION FOR ALL NON-CURB INLETS.
 2. USE FLEXSTORM'S CATCH-IT PRODUCT OR APPROVED EQUAL WITH RIGID FRAME.
 3. DO NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

INLET PROTECTION 3
C6.2

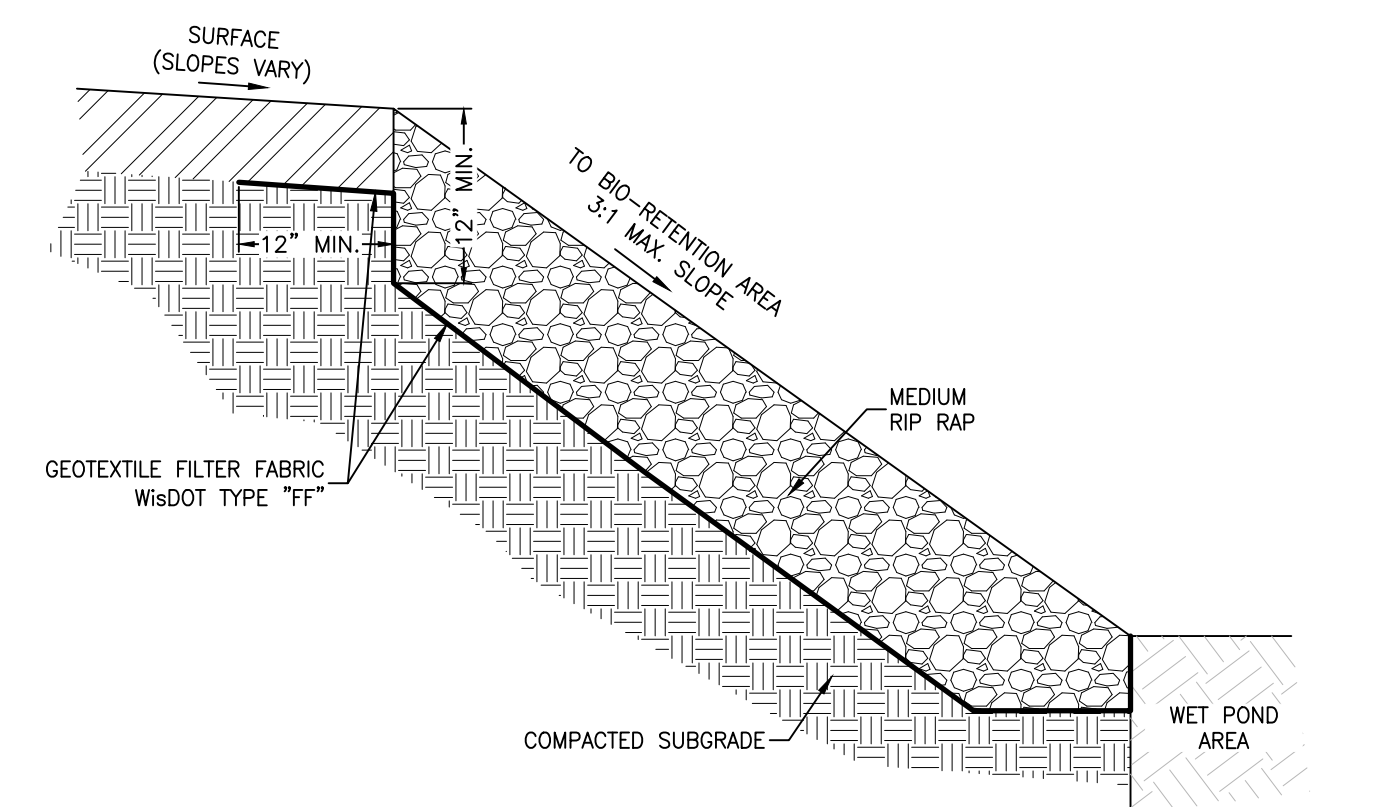


- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING. REPAIR AND/OR CLEANOUT ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.

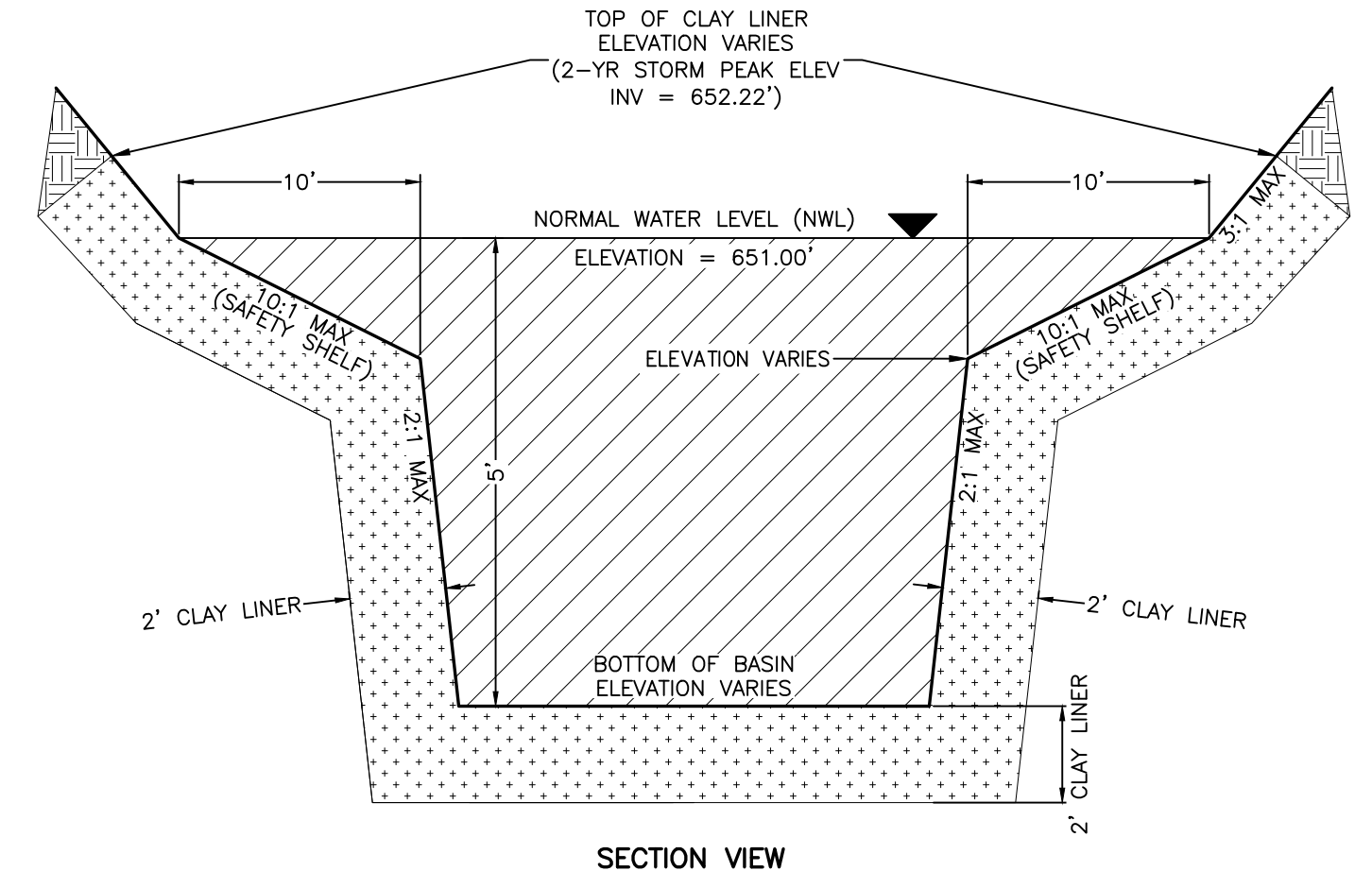
ROCK ENTRANCE 4
C6.2



OVERFLOW WEIR 5
C6.2

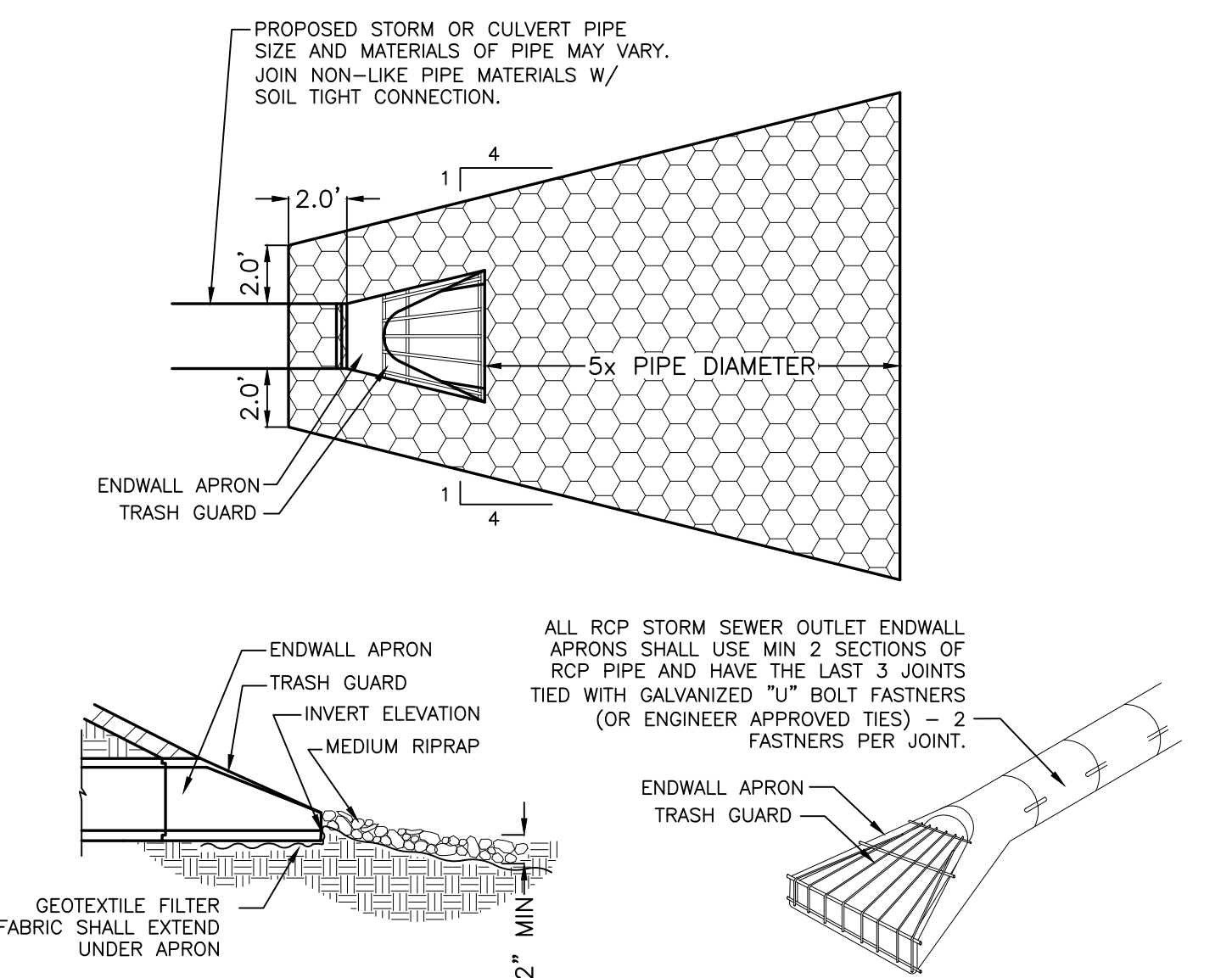


RIP RAP AREA 6
C6.2



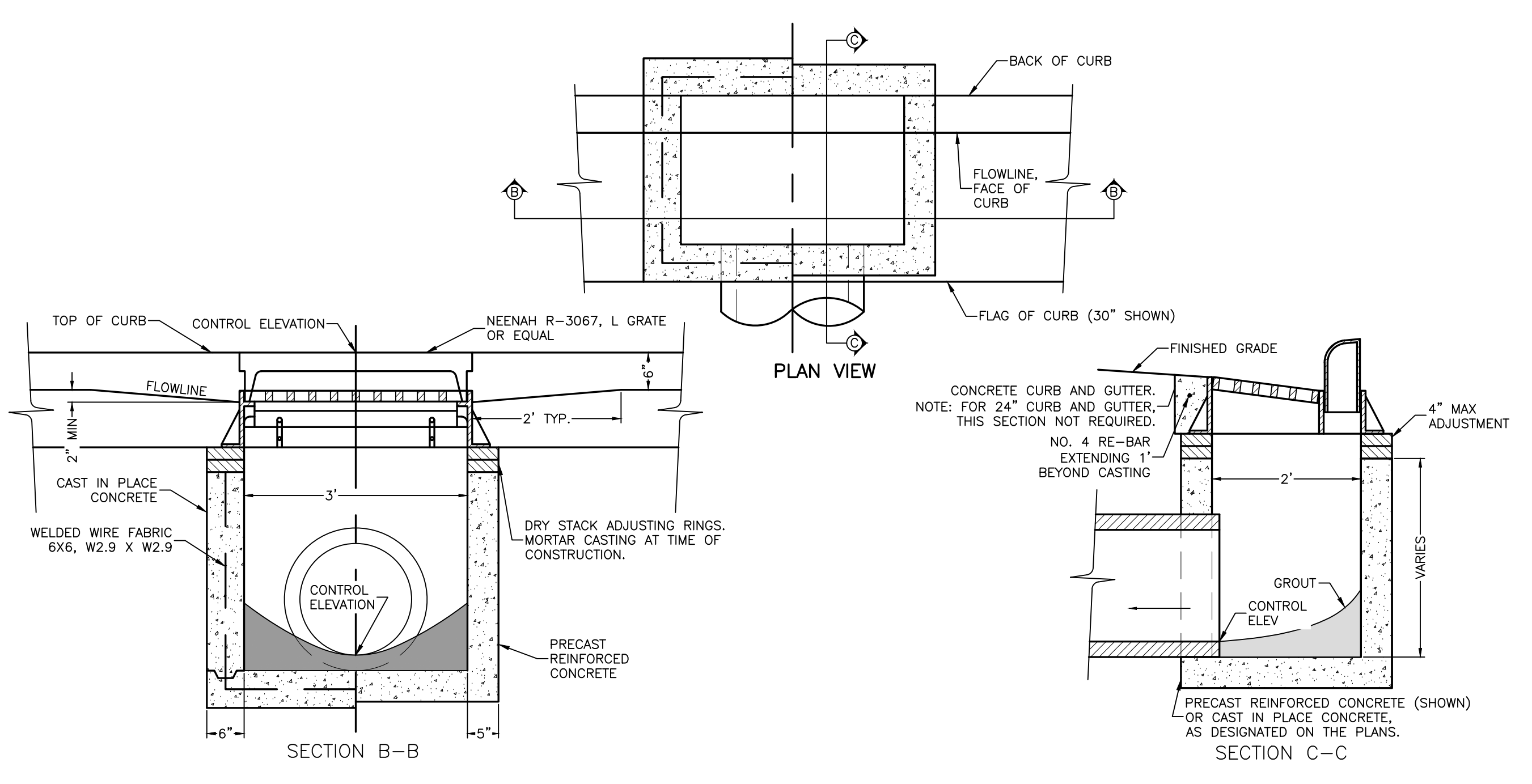
- NOTES:
1. IF IN SITU SOILS DO NOT MEET THE REQUIREMENTS OF A TYPE C CLAY LINER IN APPENDIX D OF WDRN TECHNICAL STANDARD 1001, THE CONTRACTOR SHALL OVER EXCAVATE THE POND BY 2 FEET AND INSTALL A CLAY LINER THAT MEETS THE ABOVEMENTIONED SPECIFICATIONS.
 2. THE CONTRACTOR MAY USE OTHER LINER METHODS LISTED IN APPENDIX D, IF APPROVED BY THE CIVIL ENGINEER.

WET POND 7
C6.2

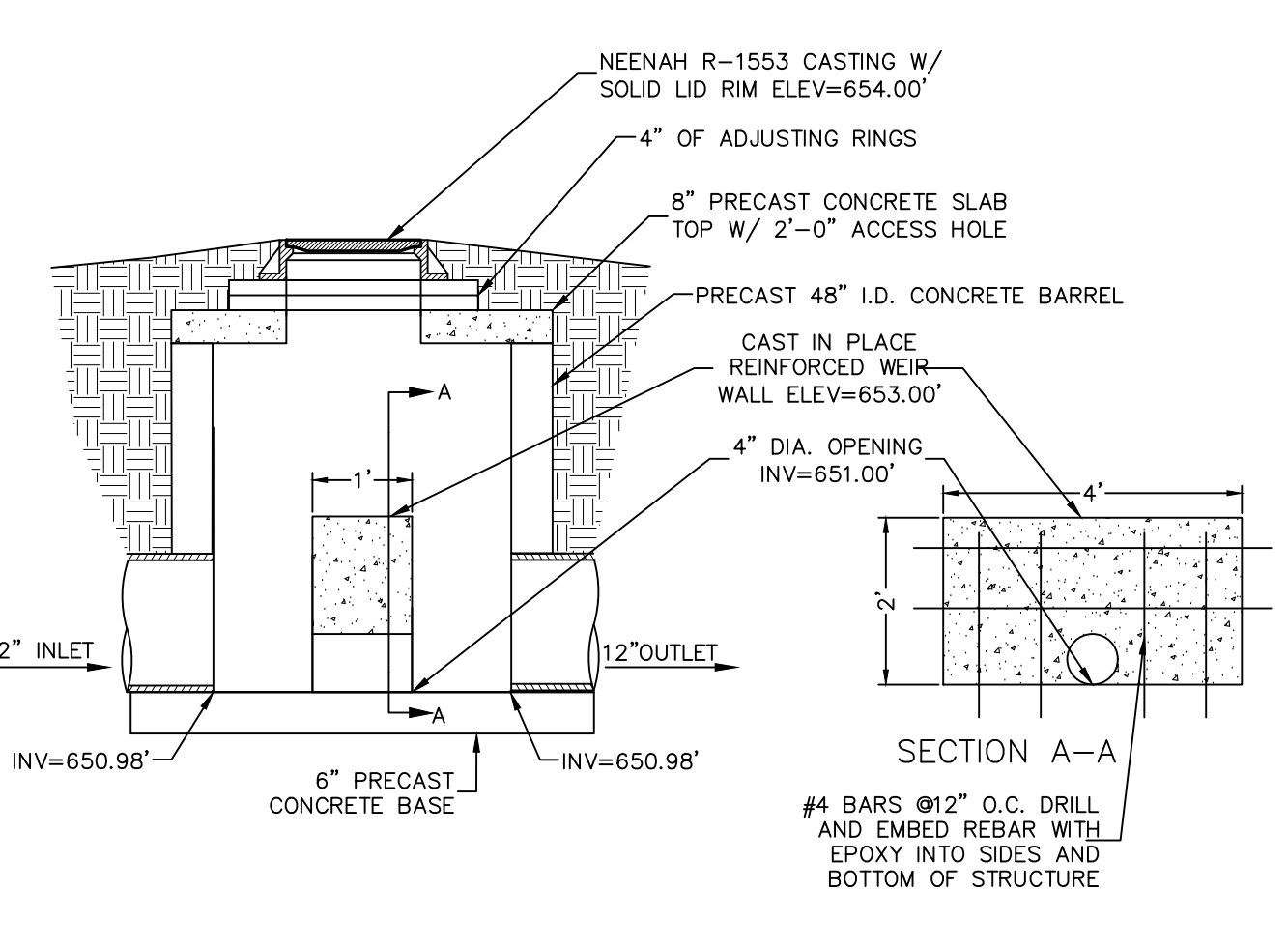


- NOTES:
1. ENDWALL APRON SHALL BE PLACED LEVEL WITH THE TOP OF THE STONE.
 2. PLACE FILTER FABRIC BENEATH THE PROPOSED STONE.
 3. ALL ENDWALLS SHALL HAVE A TRASH GUARD.

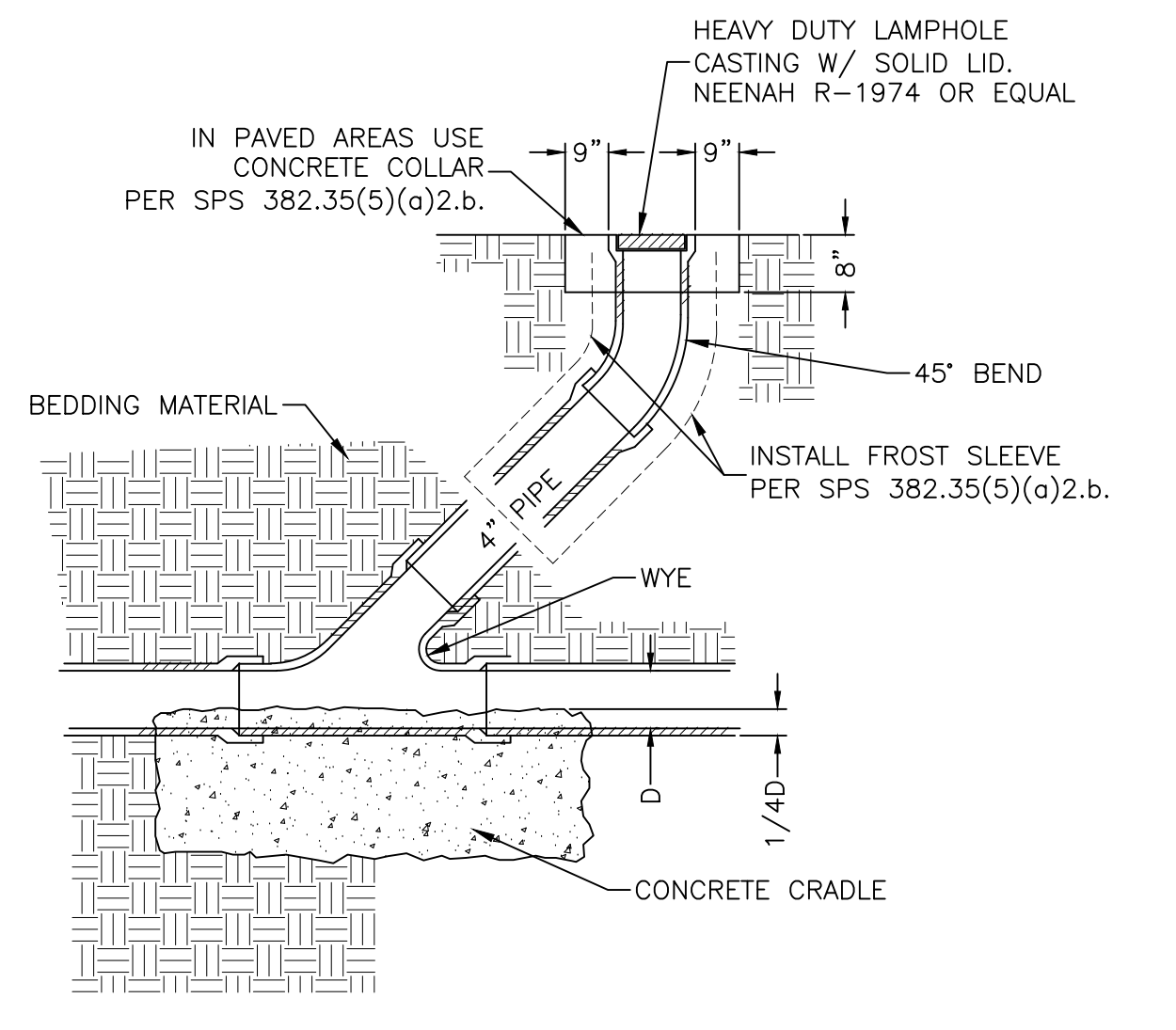
ENDWALL 8
C6.2



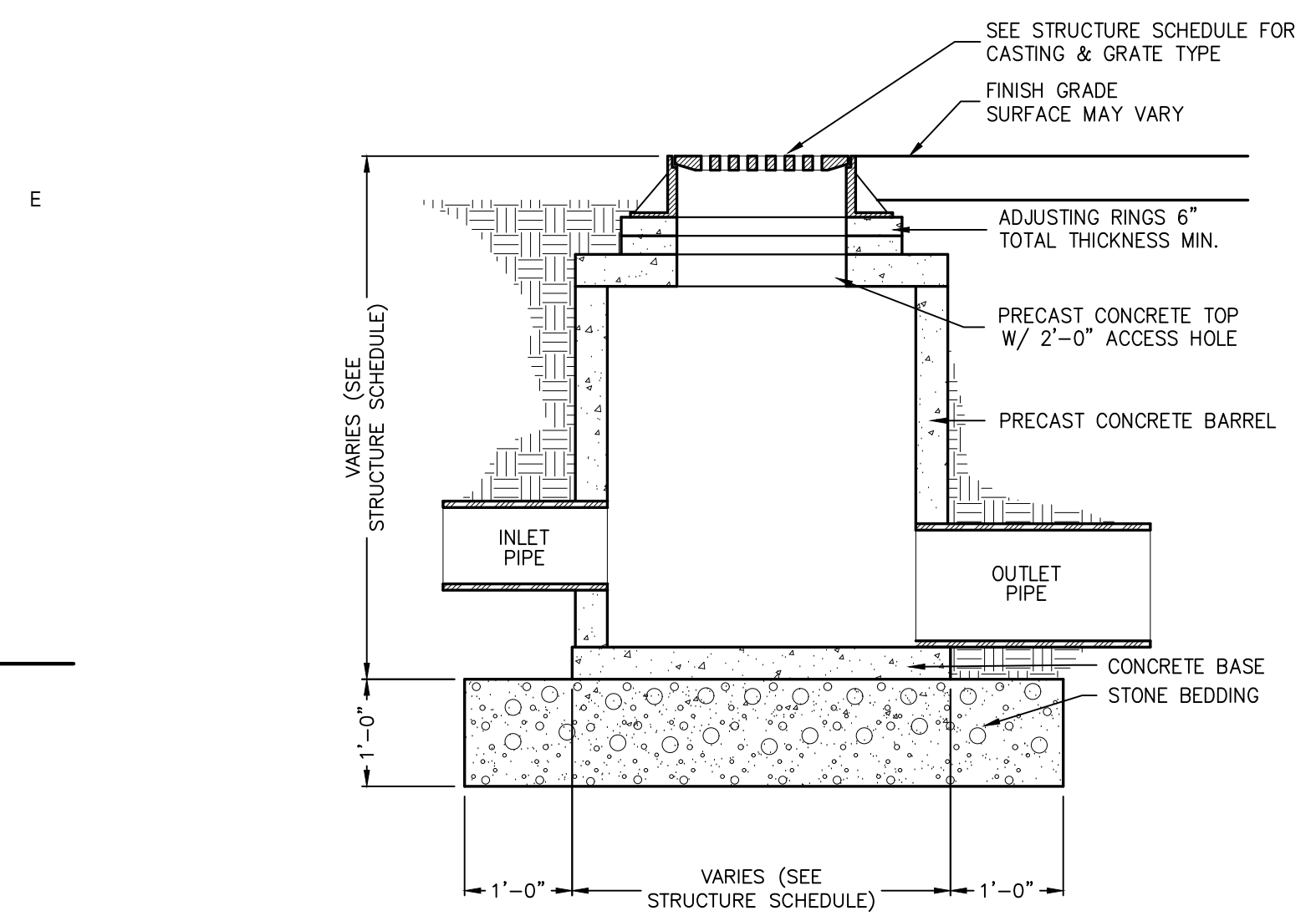
2' X 3' CURB INLET 9
C6.2



STORM - CONTROL STRUCTURE 10
C6.2

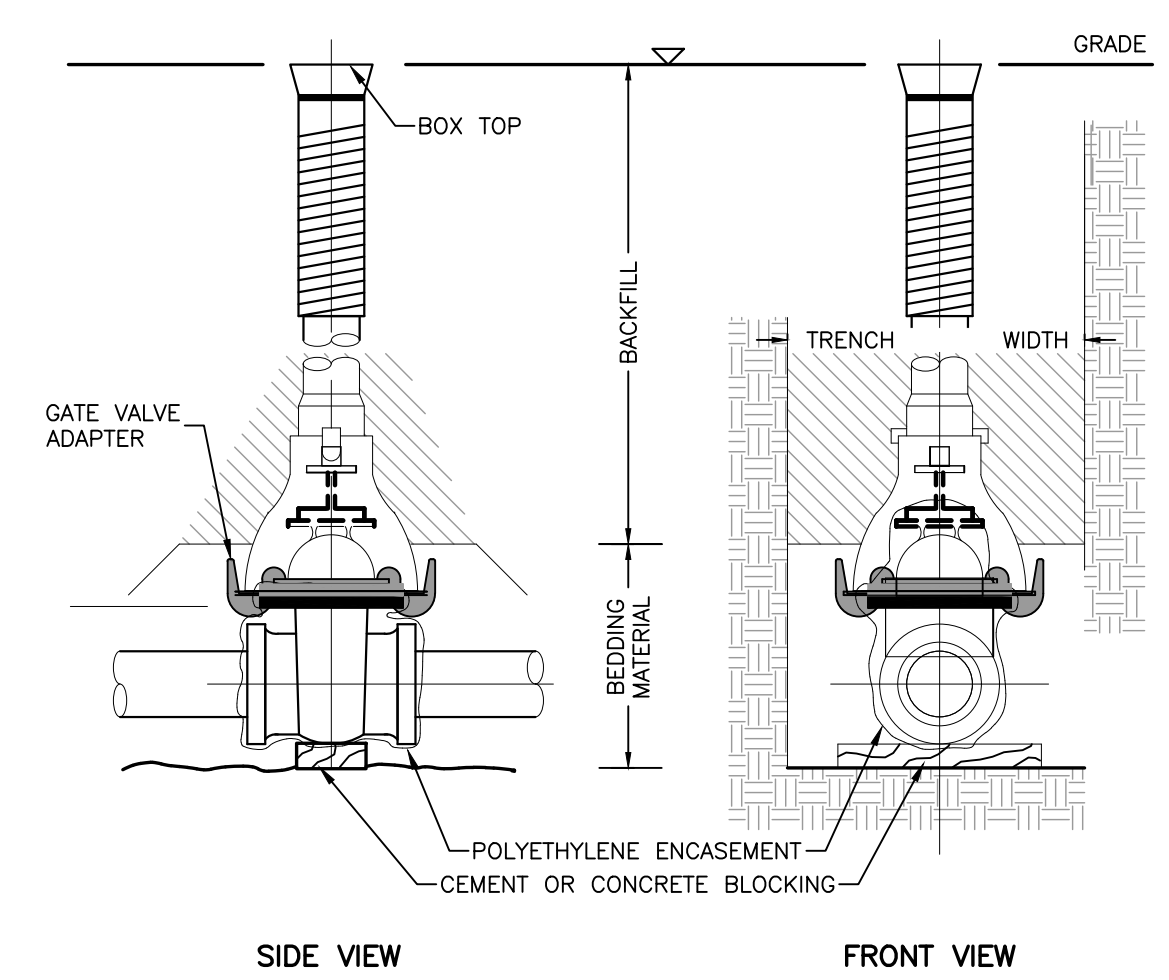


SANITARY CLEAN OUT - CONCRETE 11
C6.2



STORM SEWER MANHOLE

1
C6.3



WATER GATE VALVE

2
C6.3

NOTES:

A. GENERAL:

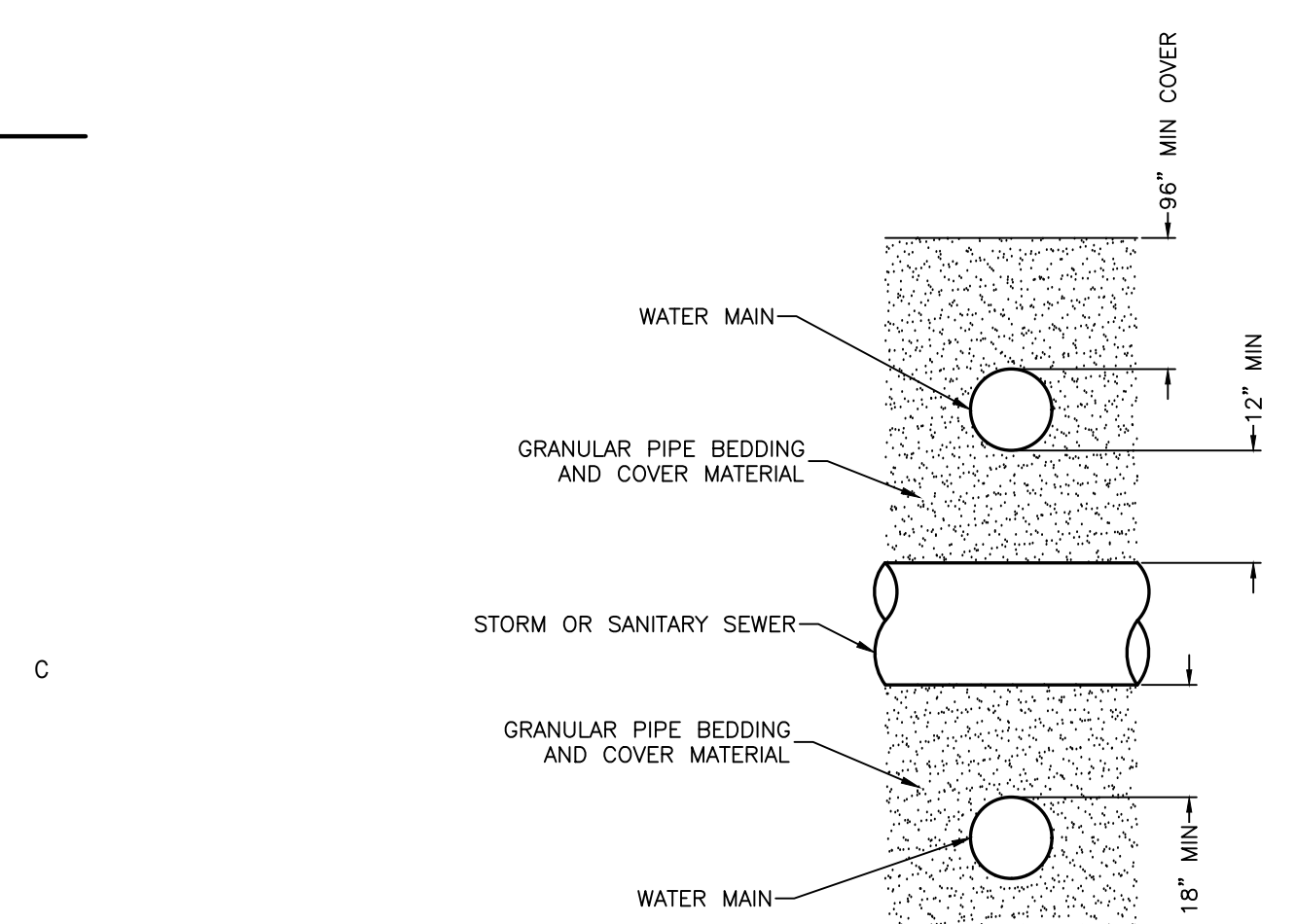
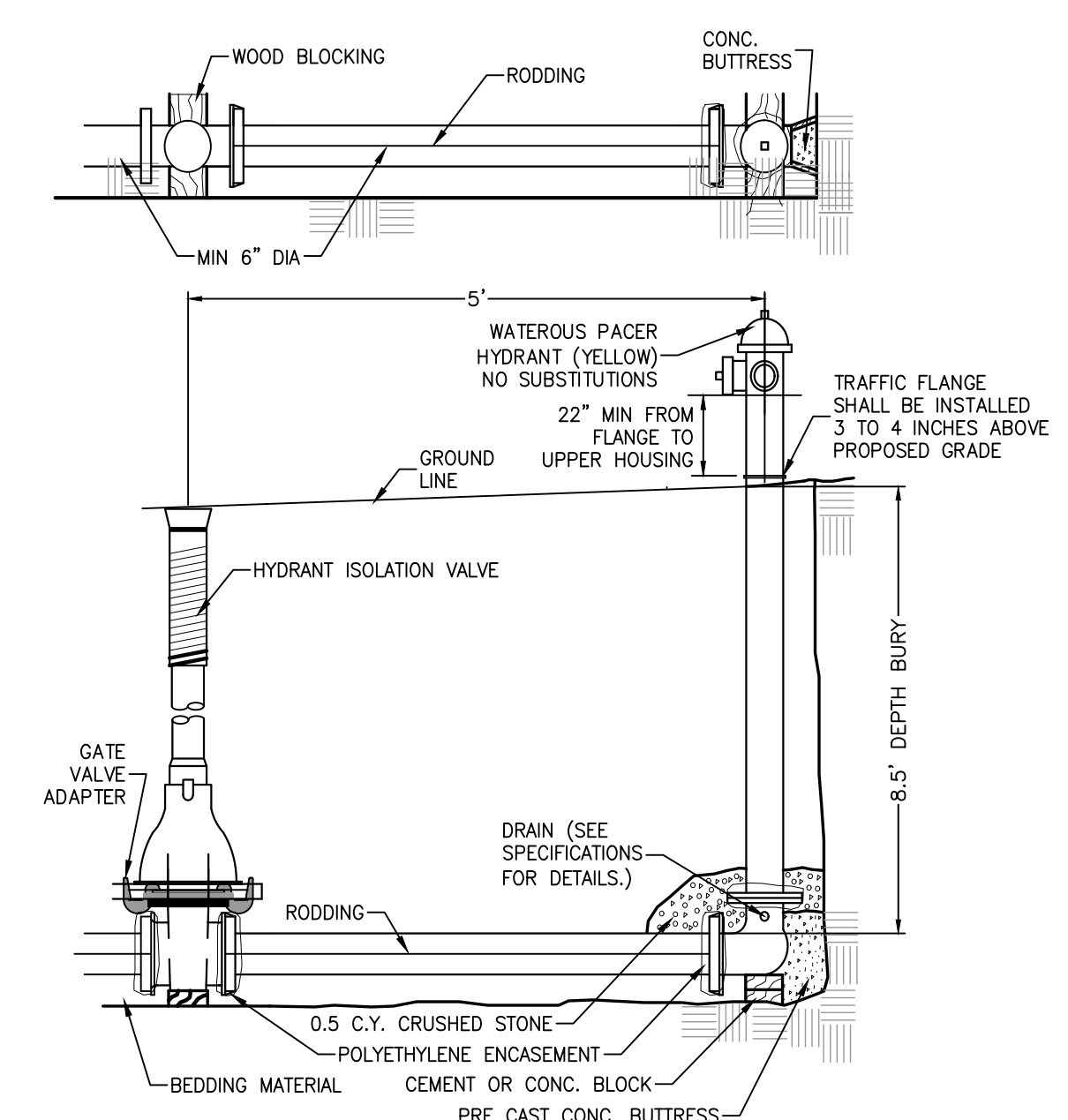
1. COMPLY WITH AWWA C502
2. HYDRANTS SHALL BE PAINTED YELLOW BY THE MANUFACTURER TO MATCH THE COLORS SELECTED BY OWNER.
3. MATCH THE HYDRANTS GENERALLY INSTALLED IN THE OWNER'S WATER SYSTEM.
4. ACCEPTABLE MANUFACTURERS:
 - a. WATEROUS PACER, NO SUBSTITUTIONS

B. MATERIALS:

1. PROVIDE COMPRESSION TYPE WITH A 5-1/4" MINIMUM SIZE MAIN VALVE ASSEMBLY, O-RING SEALS, TWO 2-1/2" HOSE NOZZLES, AND A 4-1/4" PUMPER NOZZLE WITH NATIONAL STANDARD THREADS, A NATIONAL STANDARD OPERATING NUT, AND AN ABOVE GROUND BREAK FLANGE.
2. PROVIDE A 6" AUXILIARY RESILIENT SEAT TYPE GATE VALVE WITH RESTRAINED TYPE JOINTING OR BITUMINOUS COATED METAL TIE RODS BETWEEN THE VALVES AND THE TEE FITTINGS.
3. PROVIDE VALVE BOXES WITH COVER MARKED WITH THE WORD "WATER".
 - a. BITUMINOUS COATED CARBON STEEL VALVE EXTENSION STEMS AND 2" SQUARE OPERATING NUTS 2 INCHES BELOW COVER.
4. PROVIDE VALVE BOX STABILIZERS ON ALL HYDRANT AUXILIARY VALVES.
 - a. ACCEPTABLE MANUFACTURER:
 - i. ALBERICO
 - ii. AMERICAN
 - iii. ADAPTOR, INC.
 - iv. OR EQUAL
5. HYDRANT MARKER:
 - i. PROVIDE RODON HYDRA FINDER FLAGS FOR ALL HYDRANTS.

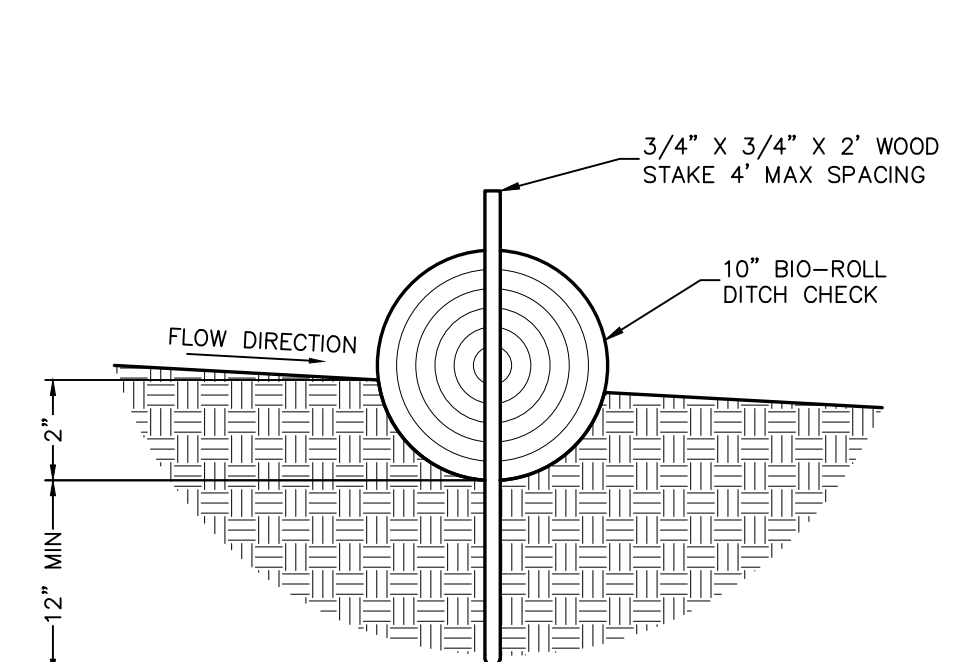
HYDRANT ASSEMBLY

3
C6.3



PIPE CROSSING

4
C6.3

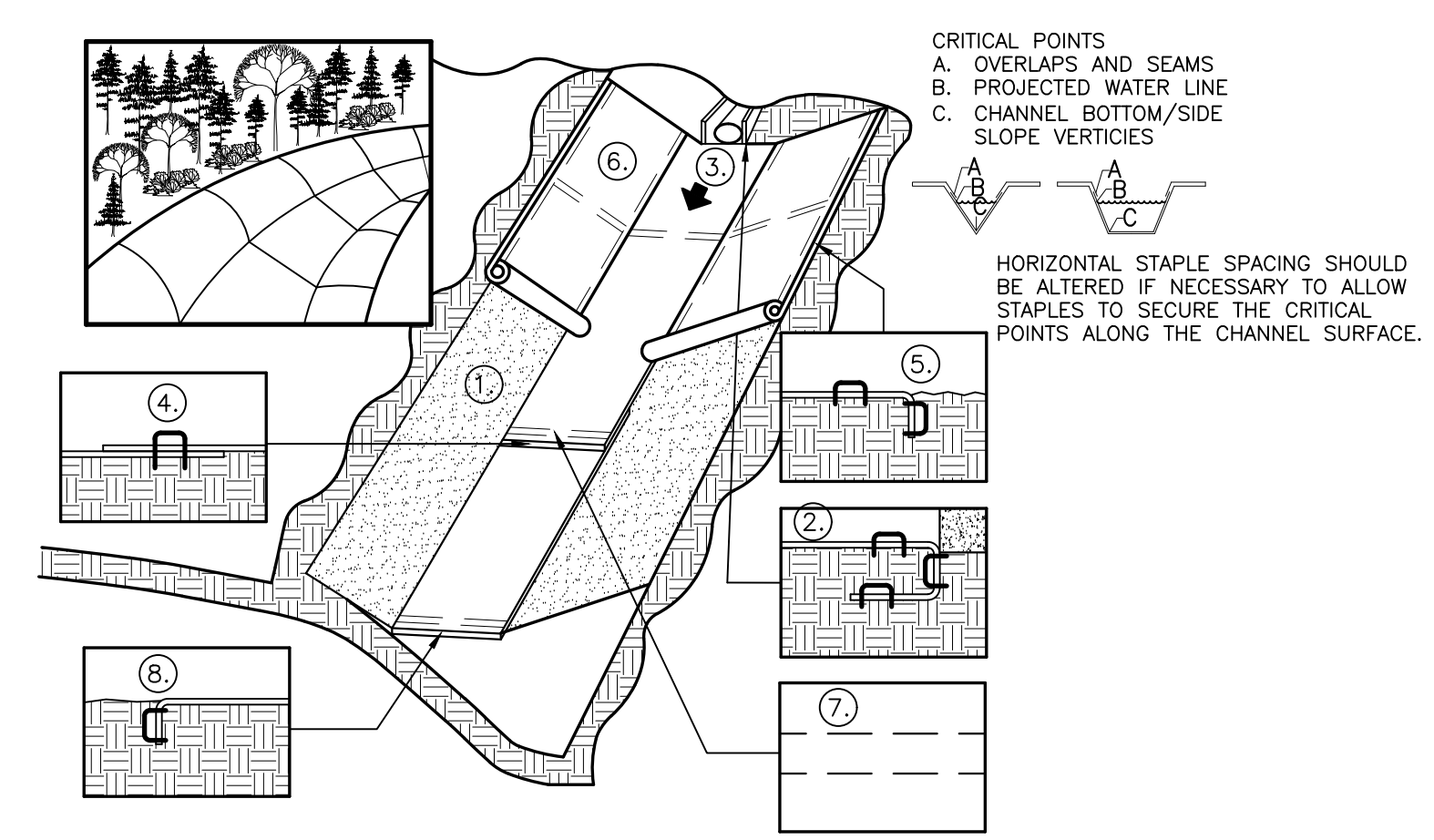


DITCH CHECK

5
C6.3

NOTES:

1. USE ONLY DITCH CHECKS FOUND ON THE WISCONSIN DEPARTMENT OF TRANSPORTATION PRODUCT ACCEPTABILITY LIST (PAL).
2. INSPECT DITCH CHECK FOR DEFICIENCIES PRIOR TO FORECASTED RAIN EVENTS, DAILY DURING EXTENDED RAIN EVENTS, AFTER RAIN EVENTS, AND AT 2-WEEK INTERVALS.
3. TURN ENDS OF DITCH CHECK UPSLOPE TO PREVENT WATER FROM FLOWING AROUND END.
4. REMOVE SEDIMENT BEHIND DITCH CHECK BEFORE SEDIMENT LEVEL REACHES THE HALFWAY POINT BETWEEN THE GROUND SURFACE AND TOP OF THE DITCH CHECK.

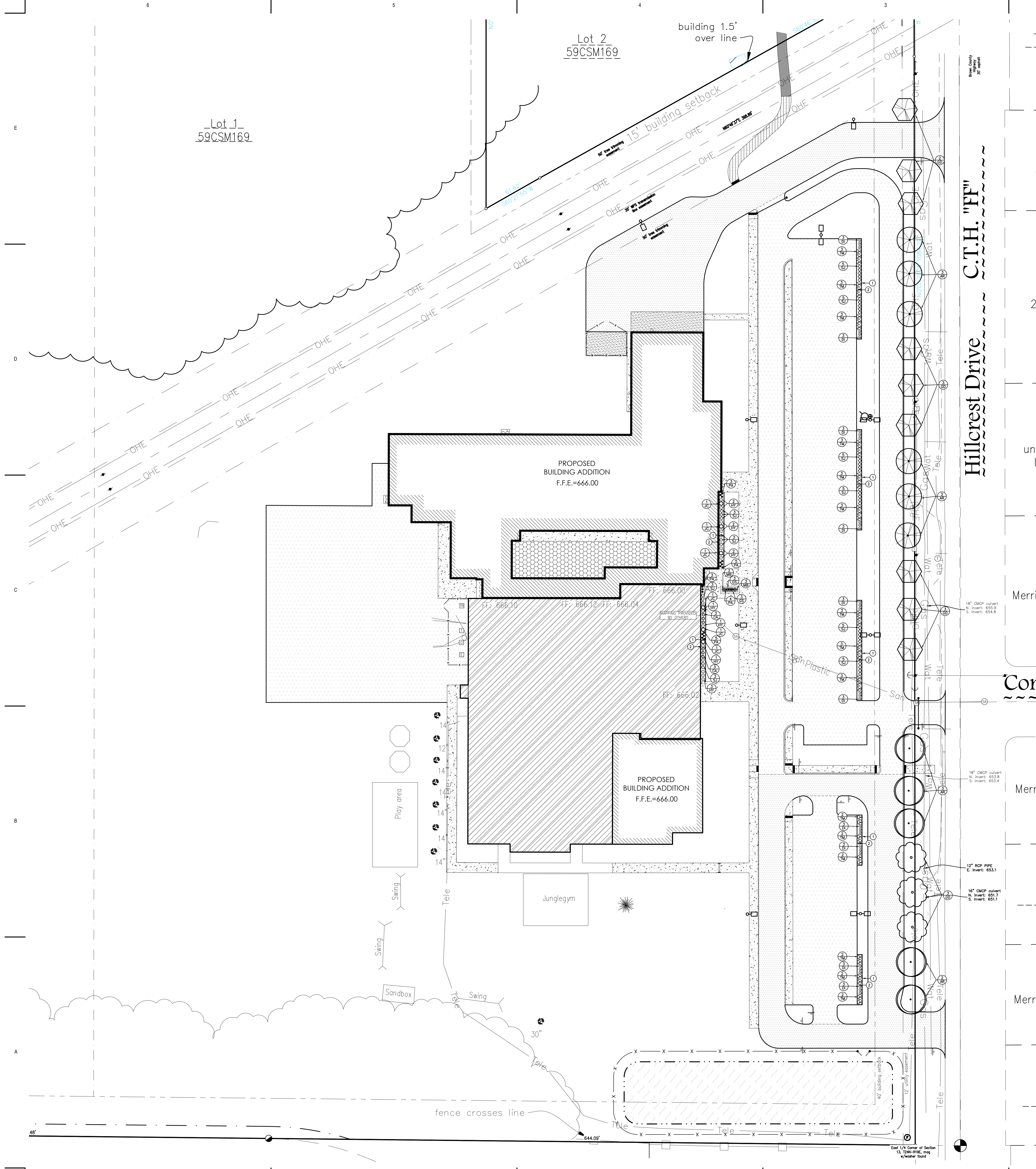


EROSION CONTROL BLANKET CHANNEL FLOW

6
C6.3

NOTES:

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW ON BOTTOM OF CHANNEL.
4. PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH A 6" OVERLAP. USE A DOUBLE ROW OF STAGGERED STAPLES 4" APART TO SECURE BLANKETS.
5. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED IN 6" DEEP x 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
6. BLANKETS ON SIDE SLOPES MUST BE OVERLAPPED 4" OVER THE CENTER BLANKET AND STAPLED.
7. IN MEDIUM/HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A ROW OF STAPLES 4" APART OVER ENTIRE WIDTH OF CHANNEL. PLACE A SECOND ROW OF 4" BELOW THE FIRST ROW IN A STAGGERED PATTERN AND COMPACT THE TRENCH AFTER STAPLING.
8. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED IN A 6" DEEP x 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
9. TURF REINFORCEMENT SHALL BE LISTED ON THE CURRENT WisDOT PRODUCT ACCEPTABILITY LIST (PAL) AS A CLASS III TYPE A EROSION MAT.



GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SPECIFIED PLANTING SOIL DEPTH IS PRESENT PRIOR TO PLANTING.
- SEED/FERTILIZE/CRIMP HAY MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION, EXCEPT AREAS NOTED ON THIS DOCUMENT TO BE SODED.
- ALL PLANT MATERIALS LISTED SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION FOR THE SIZES GIVEN.
- ALL TREES SHALL BE STAKED WITH A MINIMUM OF THREE STAKES.
- ALL TREES IN THE TURF AREA SHALL HAVE A 5" DIAMETER CIRCLE OF 4" DEPTH SHREDDED HARDWOOD BARK MULCH.
- CURV-RITE LANDSCAPING EDGING (SERIES 3000 3/16" X 4", WITH MILL FINISH) OR APPROVED EQUAL SHALL BE PLACED AROUND ALL LANDSCAPE BEDS.
- 3" OF SHREDDED HARDWOOD BARK MULCH SHALL BE PLACED IN ALL GROUND COVER PLANTING BEDS. OWNER TO CONFIRM COLOR PRIOR TO INSTALLATION.
- 20 YEAR WEED BARRIER FILTER FABRIC SHALL BE PLACED BENEATH ALL LANDSCAPE HARDWOOD BARK MULCH.
- COORDINATE ALL LANDSCAPE WORK WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.

PLANTING SCHEDULE:

TREES SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
AR	ACER RUBRUM 'PNI 0268'	OCTOBER GLORY RED MAPLE	1.5" CAL.	50TX40'W	5
GD	GYMNOCLADUS DIODICUS 'ESPRESSO'	ESPRESSO KENTUCKY COFFEE TREE	1.5" CAL.	60TX50'W	3
MA	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	1.5" CAL.	25TX25'W	6
SR	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE LILAC TREE	1.5" CAL.	25TX25'W	9

SHRUBS SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
DI	DIERVILLA IONICERA	DWARF BUSH HONEYSUCKLE	24"	3'TX3'W	30
HY	HYDRANGEA PANICULATA 'LVOBO'	BOBO HYDRANGEA	24"	3'TX3'W	12
JC	JUNIPERUS HORIZONTALIS 'EMERALD SPREADER'	EMERALD SPREADER JUNIPER	24"	1'TX3'W	6
MB	MICROBOTA DECUSSATA 'CONDREW'	DREW'S BLUE SIBERIAN CARPET CYPRESS	24"	2'TX3'W	6
SJ	SPIRAEA X BUMALDA 'MONHUB'	LIMEGLIND SPIREA	24"	3'TX4'W	42
TM	TAXUS X MEDIA 'TAUNTONI'	TAUNTON YEW	24"	4'TX6'W	39

ORNAMENTAL GRASS SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
CA	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	24"	5'-7'T	6
PA	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	24"	3'TX3'W	20

PERENNIALS SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
GS	GERANIUM SANGUINEUM 'CRANE'S BILL'	CRANESBILL GERANIUM	1 GAL.	15"TX18"W	6

LANDSCAPE REQUIREMENTS:

REQUIREMENT: ADD TREES AT MINIMUM RATE OF 1 CANOPY TREES FOR EACH 50FT OF ROAD FRONTAGE.
 TOTAL ROAD FRONTAGE IS 1172 LF/50 = 23 TREES REQUIRED
 PROPOSED: 8 LARGE DECIDUOUS TREES, 15 SMALL DECIDUOUS TREES (OVERHEAD ELECTRICAL)

KEYNOTES:

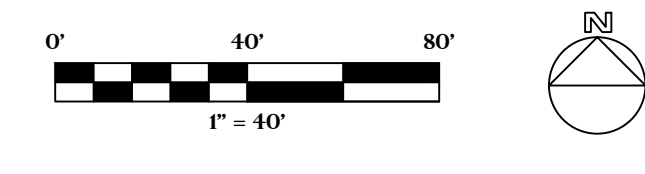
- LANDSCAPE EDGING - SEE GENERAL NOTES
- LANDSCAPE HARDWOOD BARK MULCH - SEE GENERAL NOTES

BENCHMARK:

THE BASE TOPOGRAPHIC MAP FOR THIS DRAWING WAS SURVEYED AND DRAFTED BY OTHERS.

EXISTING CONDITIONS DISCLAIMER:

NOTE THAT THE BASE TOPOGRAPHIC MAP FOR THIS DRAWING WAS SURVEYED AND DRAFTED BY OTHERS. POINT OF BEGINNING WILL NOT BE HELD LIABLE FOR ANY INACCURACIES OR OMISSIONS FROM THE TOPOGRAPHIC MAP/INFORMATION.



RENDERED ELEVATION | Hillcrest Elementary













2 ENTRY & CAFETERIA ADDITION
 RE 1.0 Scale: 1/16" = 1'-0"



1 HILLCREST EAST ELEVATION
 RE 1.0 Scale: 1/32" = 1'-0"

Part of Brown County WI

LEGEND / KEY

-  Parcel Boundary
-  Condominium
-  Gap or Overlap
-  "hooks" indicate parcel ownership crosses a line
-  Parcel line
-  Right of Way line
-  Meander line
-  Lines between deeds or lots
-  Historic Parcel Line
-  Vacated Right of Way

A complete map legend (map key) is available at: tinyurl.com/BrownDogLegend

Map printed
8/11/2023



1:2,400

1 inch = 200 feet*

1 inch = 0.0379 miles*

*original page size is 8.5" x 11"
Appropriate format depends on zoom level

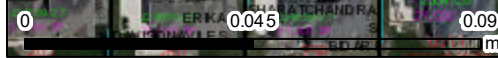
This is a custom web map created by an online user of the GIS map services provided by the

**Brown County Wisconsin
Planning & Land Services
Department**



(920) 448-6480

www.browncountywi.gov





TO: Site Review Committee

RE: 2703 S. Pine Tree Rd., HB-83-1; Monument Sign – Village of Hobart Fire Department

FROM: Todd Gerbers, Director of Planning and Code Compliance

DATE: August 16, 2023

ISSUE: Discussion and action on a request for new ground mount monument sign

RECOMMENDATION: Staff recommends approval subject to any conditions the Committee may identify.

GENERAL INFORMATION

1. Developer: Village of Hobart Fire Department
2. Applicant: Village of Hobart / Creative Sign Company, Inc.
3. Address/Parcel: 2703 S. Pine Tree Rd. / HB-83-1
4. Zoning: Currently: A-1: Agricultural District / Proposed: PI: Public / Institutional District
5. Use: Municipal Fire Station

BACKGROUND

Village of Hobart Fire Department, located at 2703 S. Pine Tree Rd., is currently under construction and is submitting for review and approval of the proposed new ground mount monument sign. The sign as proposed will have a internally illuminated cabinet and an electronic message center. The proposed sign will be located along S. Pine Tree Rd. near the driveway access to the equipment bays. At the time of the site review for the building, the signage details were not known at that time. The developer has since finalized the signage and is requesting review of the proposed signage.

The proposed monument sign will be a total of 3'-5" x 10'3" (35 square feet) with an overall height of 5'-11". The sign will contain an internally illuminated sign cabinet and a electronic message center. The proposed sign complies with the Village Sign Code which allows for a maximum of 50 square feet per side and a maximum height of 20'.

RECOMMENDATION/CONDITIONS

Staff recommends approval of the proposed 35 square foot monument sign as submitted.



505 LAWRENCE DR, DE PERE, WI 54115
920.336.8900 CREATIVESIGNCOMPANY.COM

CLIENT: VILLAGE OF HOBART

LOCATION: 2703 S PINE TREE RD, DE PERE WI
DRAWN BY: BOBBI J
SALESPERSON: KATHY T
DATE: 07/31/2023
DESIGN #: D22500
PAGE: 1

REVISION LOG:	INTL	DATE	DESCRIPTION
	BCJ	08/01/2023	ADD ADDRESS

MONUMENT

QUANTITY: 1
SIDES: D/F
CABINET: FABRICATED ALUM (18")
LIGHTING: LED (WHITE)
RETAINER: 2"
FACES: LEXAN
GRAPHICS: DIGITAL PRINT, DUAL SURFACE
VINYL: PREMIUM CLEAR W GLOSS LAM
ADDRESS: .125" ALUM (P-1)
MOUNTING: FLUSH TO BASE W/ STUDS
FONT: LOGO

MESS CENTER: 10MM OR 16MM (WATCHFIRE RGB)
COMMUNICATION: WIRELESS
SOFTWARE: IGNITE OPX
PC OR MAC: PC-BASED SOFTWARE
TRAINING: WEB BASED SOFTWARE TRAINING
TEMP PROBE: NO
ZIP CODE: 54115
FILLER PANEL: .040" PREFINISHED MATTE BLACK ALUM

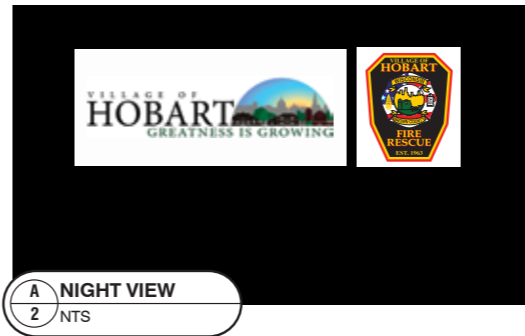
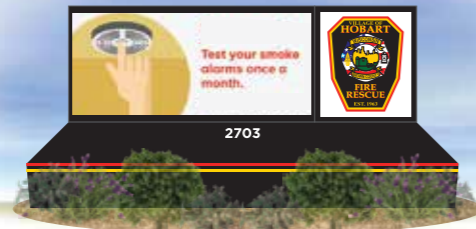
BASE: FABRICATED ALUMINUM (12")
PHOTO EYE/TIMER: BY ELECTRICIAN
MOUNTING: DIRECT EMBEDMENT
INSTRUCTION: PRODUCE AND INSTALL

- COLORS:**
- P-1 BLACK
 - C-2 WHITE
 - C-3 VARIOUS COLORS
 - P-4 MATCH BUILDING

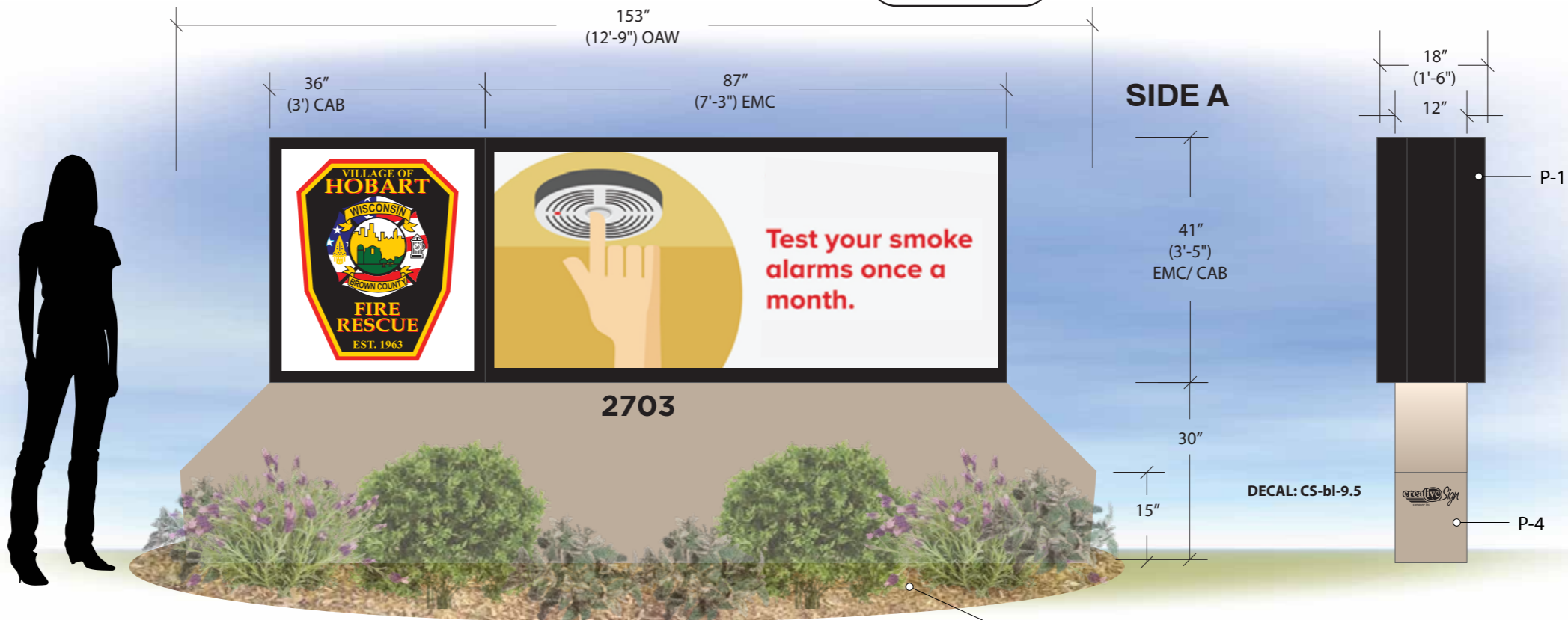
CUSTOMER SIGNATURE FOR DESIGN APPROVAL:

SIGNATURE _____ DATE _____

SIDE B NOT TO SCALE



COLOR OPTION B:
P-1 BASE W/ DIGITAL PRINT
1" STRIPES



BROADBAND ANTENNA DETAILS

TO BE MOUNTED TO SIGN AS REQUIRED

LIT SIGN

THIS SIGN WILL REQUIRE ELECTRICAL HOOK UP. CUSTOMER IS REQUIRED TO SCHEDULE A LICENSED ELECTRICIAN TO RUN POWER TO THE SIGN AND DO FINAL HOOK UP. TALK TO YOUR SIGN CONSULTANT IF:

- YOU WOULD LIKE CREATIVE SIGN TO COORDINATE YOUR ELECTRICAL
- YOU HAVE ANY QUESTIONS REGARDING THE POWER REQUIREMENTS FOR YOUR SIGNAGE.

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CONCEPTUAL DRAWING ONLY

All sizes and dimensions are illustrated for client conception of the project and are not to be understood as being exact size or exact scale. Renderings, including lighting effects, opacities, and coloration, are an approximation.

CUSTOMER RESPONSIBILITIES

Please review all drawing details closely, as Creative Sign will produce signs as approved drawing indicates. Some changes may occur based on production needs. While Creative Sign will make all efforts to correct any obvious spelling or grammatical errors, the customer is responsible for confirming that the above copy, including names and titles, appear as desired. Creative Sign will make every effort to closely match colors, including PMS, where specified. We cannot guarantee exact matches due to varying compatibility of surface materials and paints used.



COLOR MATCH

LOC PHOTO (AFTER CONSTRUCTION) EMC DETAIL



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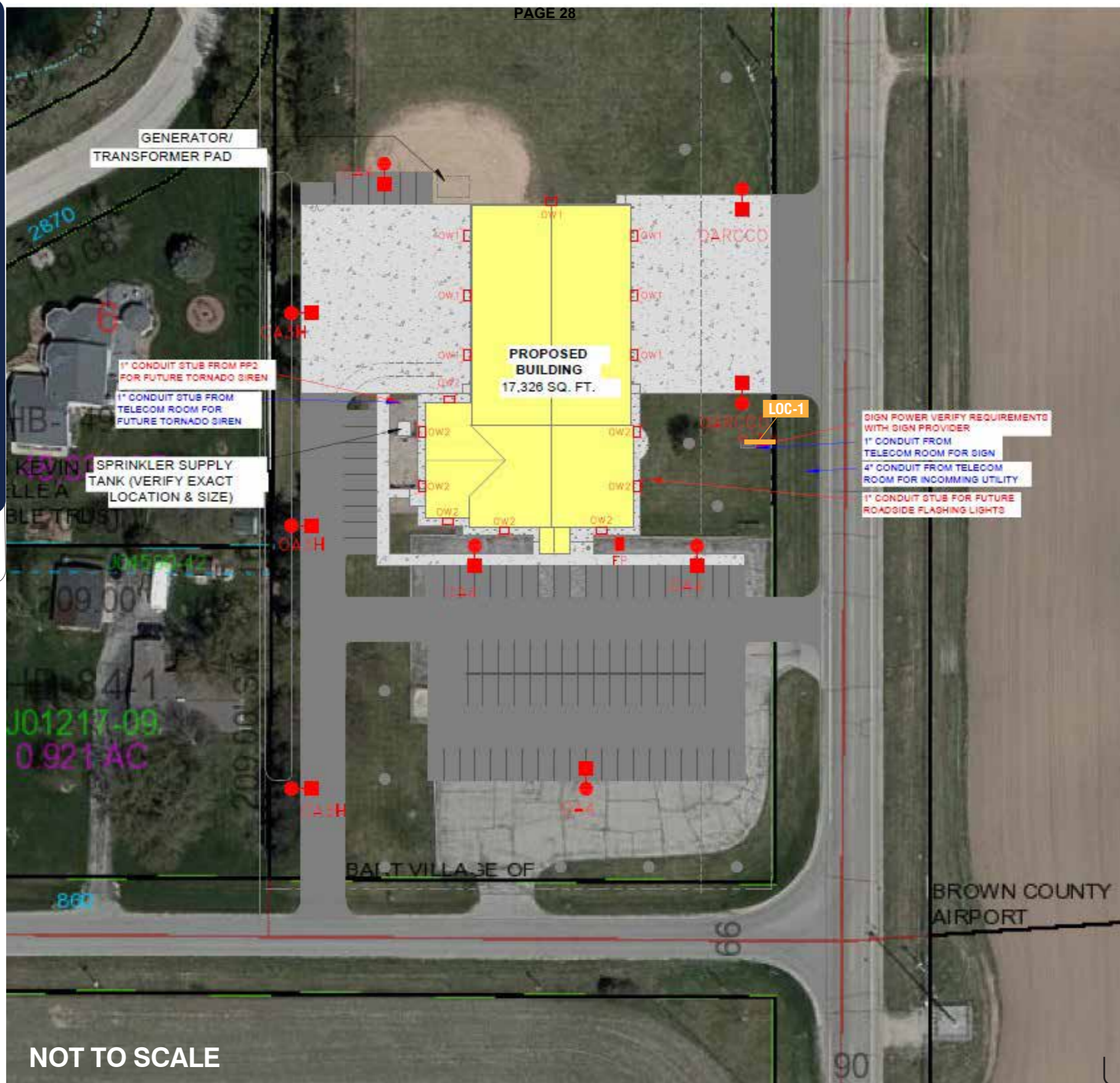
INTL	DATE	DESCRIPTION
---	00/00/0000	DESCRIPTION

CUSTOMER SIGNATURE FOR DESIGN APPROVAL:

X
SIGNATURE DATE

EXACT FINAL PLACEMENT OF SIGNS MAY VARY DUE TO FINAL CONSTRUCTION, TREES, UTILITIES, POWERLINES, CITY ORDINANCES & SIGN CODE, OR UNFORSEEN CONDITIONS.

MUST BE 10' FROM PROPERTY LINE



NOT TO SCALE

